

CENTERVILLE CITY PLANNING COMMISSION AGENDA

NOTICE IS HEREBY GIVEN THAT THE CENTERVILLE CITY PLANNING COMMISSION WILL HOLD ITS REGULAR PUBLIC MEETING AT 7:00 P.M. ON WEDNESDAY, APRIL 22, 2015, AT THE CENTERVILLE CITY COMMUNITY CENTER AND CITY HALL COUNCIL CHAMBERS, 250 NORTH MAIN STREET, CENTERVILLE, UTAH. THE AGENDA IS SHOWN BELOW.

Meetings of the City Council of Centerville City may be conducted via electronic means pursuant to Utah Code Ann. § 52-4-207, as amended. In such circumstances, contact will be established and maintained via electronic means and the meeting will be conducted pursuant to the Electronic Meetings Policy established by the City Council for electronic meetings.

Centerville City, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance, including hearing devices. Persons requesting these accommodations for City-sponsored public meetings, services, programs, or events should call Blaine Lutz, Centerville Finance Director, at 801-295-3477, giving at least 24 hours notice prior to the meeting.

A notebook containing supporting materials for the business agenda items is available for public inspection and review at City Hall and will be available for review at the meeting. This agenda is also posted on the City's Website: www.centervilleut.net and on NovusAgenda at the following link: <http://centerville.novusagenda.com/agendapublic>

Tentative Time: (The times shown below are tentative and are subject to change during the meeting)

- 7:00**
 - A. WELCOME AND ROLL CALL**
 - B. PLEDGE OF ALLEGIANCE**
 - C. PRAYER OR THOUGHT – Commissioner Scott Kjar**
 - D. MINUTES REVIEW AND ACCEPTANCE – March 25, 2015**
 - E. COMMISSION BUSINESS**

- 7:10**
 - 1. PUBLIC HEARING | CENTERVILLE GATEWAY SUBDIVISION | 782 W 400 N**
Consider a proposed small subdivision waiver/lot split for the Centerville Gateway Subdivision, located on property at 782 West Parrish Lane (Island Parcel). Russell Mackey, Mackey Investments Centerville LLC, Applicant

- 7:30**
 - 2. PUBLIC HEARING | HAFOKA PROPERTY | 564 WEST PORTER LANE (400 S)**
Consider the following proposed items for the purpose of developing a multi-family project:
 - 1. General Plan Amendment** regarding allowing for residential-high density in Neighborhood 2, Southwest Centerville (Porter Lane), Section 12-480-3(1)(a)(1)
 - 2. Zone Map Amendment** for property located at 564 West Porter Lane from Residential-Medium (R-M) to Residential-High (R-H)Taylor Spendlove, Brighton Centerville LLC, Applicant

- 7:50**
 - 3. LEGACY TRAIL APARTMENTS DEVELOPMENT | PARRISH & 1250 WEST**
Consider a proposed phasing plan and final site plan for Lot 4 of the Legacy Trail Apartments Development, on property located at the corner of Parrish Lane and 1250 West. Fred Hale & Chad Salmon, H & S LLC, Applicants

- 8:10 4. **PUBLIC HEARING | MAVERIK CONVENIENCE STORE | PARRISH & 1250 WEST**
Consider a proposed conceptual site plan for a Maverik Convenience Store, on property located at the corner of Parrish Lane and 1250 West, Lot 1 of the Legacy Trail Apartments Development. Don Lilyquist, Maverik Inc., Applicant
- 8:30 5. **PAUL HOLMES RESIDENTIAL BUILDING LOT | 150 EAST 200 SOUTH**
Consider a proposed final site plan for an unplatted residential building lot on property located at 150 East 200 South, for the purpose of constructing a new dwelling. Paul Holmes, Applicant
- 8:50 6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT**
a. Upcoming Meetings
 • PC Meeting May 13, 2015: *Walton Village Development Conceptual Site Plan, 395 South Main Street*
- 8:55 F. **ADJOURNMENT**

Posted April 17, 2015 by Community Development



PRELIMINARY DRAFT

PLANNING COMMISSION MINUTES OF MEETING

Wednesday, March 25, 2015

7:00 p.m.

A quorum being present at Centerville City Hall, 250 North Main Street, Centerville, Utah. The meeting of the Centerville City Planning Commission was called to order at 7:00 p.m.

MEMBERS PRESENT

David Hirschi, Chair

Gina Hirst (excused from the meeting at 7:08 p.m. and returned at 7:33 p.m.)

William Ince

Scott Kjar

Kevin Merrill

Debra Randall

MEMBERS ABSENT

Logan Johnson

STAFF PRESENT

Corvin Snyder, Community Development Director

Brandon Toponce, Assistant Planner

Lisa Romney, City Attorney

Kathy Streadbeck, Recording Secretary

VISITORS

Interested Citizens (see sign-in sheet)

PLEDGE OF ALLEGIANCE

OPENING COMMENT/LEGISLATIVE PRAYER

Commissioner Hirst

MINUTES REVIEW AND APPROVAL

The minutes of the Planning Commission work session March 11, 2015 were reviewed. Chair Hirschi made a **motion** to approve the minutes as written. The motion was seconded by Commissioner Ince and passed by unanimous vote (5-0).

The minutes of the Planning Commission meeting held March 11, 2015 were reviewed and amended. Commissioner Randall made a **motion** to approve the minutes as amended. The motion was seconded by Commissioner Merrill and passed by unanimous vote (5-0).

PUBLIC HEARING | PAUL HOLMES RESIDENTIAL LOT | 150 E 200 S -
Consider a proposed conceptual site plan for an unplatted residential building lot on
property located at 150 East 200 South, for the purpose of constructing a new dwelling.
Paul Holmes, Applicant

Brandon Toponce, Assistant Planner, reported the applicant desires to build a single-family home on an un-platted parcel. According to City records, it appears the property was divided before the Subdivision Ordinance was enacted. The proposed application allows the Commission to review and ensure that the lot is buildable, all applicable building standards are met, and to require all proper public utility easements. The proposed lot is located within the Residential-Low (R-L) Zone which allows for single-family dwellings. The proposed development is consistent with the General Plan and appears to meet all development standards. Mr. Toponce reviewed the site plan explaining the layout, topography and easements. The applicant will need to verify the overall height of the building. The applicant will need to provide information regarding the adequacy of utilities. The applicant will need to ensure all public utility easements, including nearest fire hydrant, are verified by the City Engineer, indicated on the plans, and appropriately recorded with the County.

Paul Holmes, applicant, said he purchased this property about 10 (ten) years ago as an investment. He plans to get the property approved for development in order to make the property more marketable.

Chair Hirschi opened the public hearing.

Dale McIntyre provided some history on this site stating this piece of property was the original site of Centerville's tennis courts. He played there as a child.

Chair Hirschi closed the public hearing.

Commissioner Kjar made a **motion** for the Planning Commission to accept the conceptual site plan for the Paul Holmes residential lot, located at 150 East 200 South, with the following conditions:

Conditions:

1. All fees shall be paid; including all related development fees.
2. The applicant shall submit a final site plan application meeting the standards found in Section 12-21-110(e) of the Ordinance.
3. All utilities shall be indicated on the final site plan.

4. All utility provider sheets shall be submitted to City staff at the time of the final site plan application.
5. The applicant shall submit detail to City staff concerning the expected overall height of the residential building as part of the final site plan.
6. Required public utility easements and any other easements required by the City Engineer shall be prepared by the applicant and submitted to the City for acceptance by the City Council within thirty (30) days from the date of final site plan approval.
7. All related impact fees need to be paid, as per City's Fee Schedule.

Reasons for the Action (findings):

1. The applicant has clearly shown how the property may be developed [Section 12-21-110(d)(2)].
2. The applicant has submitted a full application [Section 12-21-110(d)(1)].
3. Proposed utility easements are required on all developed lots [Section 12-21-110(e)(2)(iii)(d), 15-5-106(8)].
4. A final site plan application shall be required for submittal [Section 12-21-110(e)].

The motion was seconded by Commissioner Merrill and passed by unanimous roll-call vote (5-0).

PUBLIC HEARING | HUFFAKER DENTAL DUPLEX | 134 SOUTH MAIN -
Consider a proposed conceptual site plan for the Huffaker Dental property located at 134
South Main Street, for the purpose of constructing a duplex. Jeff Cook, Cook Builders,
Applicant

Jeff Cook, applicant, said the property owner would like to build a duplex on a vacant pad within an existing commercial site. The applicant owns a dental office on Main Street with a leftover parcel on the southwest corner of the site. Mr. Cook reviewed the site explaining there is ample room for a 2-3 unit townhome/duplex, but the current zoning presents many challenges. He explained there is existing residential units to the south and west of this site. He said this site is not ideal for commercial use because it is setback too far off Main Street. He said there are several steps and applications that would need to be completed in order for a residential use to be developed on this site. He asked the Commission to review the site and determine if they feel it could be feasible.

Cory Snyder, Community Development Director, reported there is no simple answer for this request. The existing Dental Office was built prior to the South Main Street Corridor Plan (SMSC), which means the current site is a grand-fathered non-conforming use. The SMSC allows for mixed-use, but presents other significant challenges. If the applicant were to re-develop he would be required to bring his entire site into compliance under current ordinances

PRELIMINARY DRAFT

Planning Commission Meeting
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1 which would require significant changes and cost (i.e., total reconfiguration of the site including
2 buildings). Staff has reviewed the possibility of a residential use on the proposed site but it
3 would require several significant steps, which the City may or may not find appropriate;
4 including rezone, subdivision, ordinance amendments, and flag lot amendments. In addition,
5 there are likely site plan issues including parking, landscaping, and buffering, that may still
6 require some site reconfiguration. There is no guarantee any of these steps will result in approval
7 for the applicant. However, the applicant is here tonight to ask the Planning Commission to
8 review and consider if the proposed concept may be reasonable and worth exploring further.

9
10 Chair Hirschi asked if a commercial building would also require several steps for
11 approval or if it only applies to the proposed residential use. He questioned if there are any
12 redevelopment options that would not require as many steps.

13
14 Mr. Snyder said he believes there was a commercial pad envisioned for this site with the
15 original development application. He is unsure if that commercial pad was part of the final
16 approval. If so, the applicant could pursue a commercial option. Otherwise, any redevelopment,
17 of 30% or more on the site, will require compliance with current zoning ordinances. Mr. Snyder
18 reviewed the site with the Planning Commission explaining some of the modifications that
19 would likely be required including shifting the driveway, increasing buffers between uses,
20 possible shared parking, and landscaping.

21
22 Commissioner Kjar said residential makes more sense on this site than commercial. The
23 site is already surrounded by residential and the parcel is too far of Main Street to make any
24 commercial use viable. There is little to no exposure. He is comfortable allowing a residential
25 use on this site.

26
27 Commissioner Merrill agreed that conceptually a residential use makes sense for this site.
28 He said a shared parking option may be needed as he believes this parking lot is generally full
29 during business hours. He questioned if any other commercial investment opportunities may be
30 available for this site.

31
32 Mr. Cook said the applicant has explored several investment options, but it seems
33 residential is the best fit. He said Centerville does not have a significant commercial market on
34 Main Street and with this site being set back off Main Street it makes it even less marketable. He
35 said this is a large parcel which can accommodate a few residential units and still have room for
36 any needed reconfiguration.

37
38 Chair Hirschi opened the public hearing. Seeing there was no one wishing to comment,
39 he closed the public hearing.

Commissioner Kjar made a **motion** for the Planning Commission to accept the conceptual site plan for Huffaker Dental Property Duplex, as follows:

1. The acceptance of this conceptual site plan is not intended to permit actual development of property and such review does not create a vested right (e.g. City authorization) to develop.
2. The acceptance of this conceptual site plan is intended to represent how the property could be developed so that the applicant can receive feedback from the Planning Commission.
3. The acceptance of this conceptual site plan does NOT indicate that the proposed plan meets the current relevant City Codes and Ordinances. Furthermore, several significant steps would need to happen to make the current proposed layout even feasible, such as, but not limited to, the following:
 - Lot Frontage Width Regulations – Obtain an amendment to the Subdivision Ordinance to allow flag lots to be used in the multi-family zoning districts, or amend the “lot frontage width” requirements for the residential zones.
 - Site Plan Amendment – Obtain a site plan amendment for the commercial use and address the applicable Zoning Ordinance requirements, including but not limited to, parking, landscaping, and buffers.
 - Subdivision of Land - Secure a subdivision approval to facilitate establishment of a zone boundary opportunity between the area of the Traditional Main Street District and the area for the duplex to be zoned multi-family.
 - Rezone of Duplex Site – If the subdivision and site plan amendments are secured, obtain a rezone for the duplex site to a multi-family zoning district (e.g. R-M Zone).
4. The acceptance of this conceptual site plan does NOT indicate the City’s commitment or the future probability of making the current proposed layout even feasible.

The motion was seconded by Commissioner Randall and passed by unanimous roll-call vote (5-0).

Commissioner Hirst recused herself as she is a personal acquaintance of both the applicant and the property owner.

PUBLIC HEARING | ZONING CODE TEXT AMENDMENTS, CHAPTER 12-60 - ACCESSORY DWELLING UNITS (ADUs) - [Continuation from February 25, 2015 Meeting] - Consider proposed zoning code text amendments for Chapter 12-60-Accessory Dwelling Units, Chapter 12-12-Definitions and Table 12-36-Tables of Uses for the new Accessory Dwelling Units (ADUs) Ordinance. Centerville City, Applicant

1 Cory Snyder, Community Development Director, reviewed the proposed Accessory
2 Dwelling Unit (ADU) ordinance draft. The Planning Commission has been working toward the
3 proposed draft for the past year. After much research, meetings, public input, and discussion it
4 was evident such a housing type might be appropriate, provided sufficient use regulations could
5 be developed. The proposed draft Ordinance was compiled using typical standards found
6 throughout many Utah cities. The draft ordinance also includes modifications to reflect
7 Centerville's Zoning Ordinance style and characteristics. Mr. Snyder reviewed each section of
8 the proposed Ordinance and responded to questions from the Commission. The Commission
9 reviewed the draft ordinance making non-substantive changes. The Commission discussed
10 impact fees and agreed with the proposed language.

11
12 Chair Hirschi opened the public hearing. Seeing there was no one wishing to comment,
13 he closed the public hearing.

14
15 Commissioner Ince said he does not agree with the maximum floor area of 25% (Section
16 12-60-060[b][2]). He said if he were to rent his basement it would be closer to 35%. He said for
17 many homes that calculation could jump as high as 50% for a basement. He believes 25% is too
18 restrictive. Commissioner Kjar agreed that 25% may be too limiting. He said if he were to rent
19 his basement and keep to this restriction it would require significant remodeling and cost.

20
21 Chair Hirschi said over this past year it has been determined there is value in allowing
22 ADUs, but cautiously. He believes the 25% is cautious and appropriate. He said this number will
23 help ensure that Centerville does not become a city of duplexes, which is possible with a 50%
24 allowance. Commissioner Randall said 25% is plenty if you consider a separate structure may be
25 used as an ADU. Mr. Snyder agreed that 50% is too great and no longer considered accessory,
26 but rather creates two (2) primary dwellings or a duplex.

27
28 Commission Merrill made a **motion** for the Planning Commission to recommend
29 approval of the proposed text amendments for allowance of Accessory Dwelling Units (ADUs),
30 as follows:

- 31
32 1. Amend Title 12-Zoning by adding Chapter 12-60-Accessory Dwelling Units, as
33 submitted, or modified by the Planning Commission.
34 2. Amend 12-12-Definitions regarding ADUs, as submitted to the Commission.
35 3. Amend 12-36-Table of Uses to allow ADUs as a conditional use in the A-L and R-L
36 Zones, as submitted to the Commission.

37
38 ***Reasons for Action (findings):***

- 39 a. The Planning Commission finds that the proposed Ordinance is consistent with the
40 City's Moderate Income Housing Element concerning the use of ADUs.

- 1 b. The Planning Commission finds that the proposed Ordinance includes several
2 compatibly elements to maintain expected neighborhood characteristics.
3 c. The Planning Commission finds that the proposed Ordinance also includes
4 parameters, restrictions or limitations to prevent or mitigate impacts to adjacent
5 properties.

6
7 The motion was seconded by Commissioner Hirst and passed by roll-call vote (4-2).
8

9 Commissioner Kjar and Commissioner Ince opposed. Commissioner Kjar said he agrees
10 with the concept of ADUs and believes they should be allowed. He is uncomfortable with the
11 25% limitation. He said 50% may be too great, but perhaps somewhere in between is
12 appropriate. Commissioner Ince agreed. He too believes ADUs are appropriate but believes a
13 greater percentage may be best.

14
15 **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT**
16

- 17 1. The next Planning Commission meeting will be Wednesday, April 8, 2015.
18 2. Upcoming Agenda Items
19 • Maverick Convenience Store, conceptual site plan
20

21
22 The meeting was adjourned at 8:28 p.m.
23
24

25
26 _____
27 David Hirschi, Chair

Date Approved

28
29 _____
30 Kathleen Streadbeck, Recording Secretary

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 1**

**PROPERTY OWNER/
APPLICANT:** **MACKEY INVESTMENTS CENTERVILLE LLC
RUSSELL MACKEY
2087 EAST 250 NORTH
LAYTON UT 84040**

EMAIL/PHONE: **russ@mackeyinvestmentco.com
801-450-4151**

PROPERTY: **782 WEST PARRISH LANE
PARCEL #02-024-0064**

ACREAGE: **1.5 ACRES**

ZONING: **COMMERCIAL-VERY HIGH (C-VH)**

APPLICATION: **SMALL SUBDIVISION WAIVER/LOT SPLIT**

BACKGROUND

The applicant desires to subdivide the property into two (2) Lots. Lot 1 will be the existing Iggy's Restaurant, and Lot 2, an additional proposed commercial lot. Mackey Investments desires to divide the parcel in preparation of selling the lot within the near future. In 2013, the applicant received approval by the Planning Commission for a small subdivision, yet never finished the recording process.

SMALL SUBDIVISION PROCESS

General Plan

The Centerville General Plan indicates the proposed subdivision is located within Neighborhood 2, Southwest Centerville known as the Parrish Lane Commercial Area [Section 12-480-3]. The goal for this area encourages commercial development. It requests that all commercial improvements be attractive in landscaping and design with special consideration for signage, curb cuts and proper traffic flow. The goal also went on to state that Parrish Lane should be considered a gateway to Centerville. Staff believes that allowing the division of the land to facilitate the complete development of the "island parcel" is consistent with the desires stated in the neighborhood plan.

Small Subdivision Waiver Section 15-2-106

A small subdivision is defined as a subdivision of not more than two (2) lots [Section 15-1-104(45)]. Since the property is being subdivided into two developable lots, it can qualify for

the small subdivision waiver, as long as it meets the criteria found in Section 15-2-107 of the Subdivision Ordinance.

The small subdivision does not require dedication of land for a street or other public purpose:

- **Staff Response:** Since the island parcel is surrounded on all sides with existing public streets, there is no need for additional dedication of public right-of way. In addition, all curb cuts for the parcel have already been designed for the project and will not require new access from the public right-of-way.

The small subdivision is not traversed by the mapped lines of a proposed street or a street to be widened, as shown on the master street plan:

- **Staff Response:** According to the Master Street Plan, Section 12-450-1, it does not appear that the sections of Frontage Road or Market Place Drive need widening in the future. Additionally, the Master Street Plan does not indicate any new roads being proposed to run through any portion of the future lots.

The lots are not part of a small subdivision approved less than three years earlier:

- **Staff Response:** Although the applicant received approval for the small subdivision in 2013, *it was never recorded*. The approval expired and does not apply to the 3-year regulation.

Zoning Ordinance Requirements Section 15-2-107(2)

Each lot must meet the zoning requirements for the Commercial-Very High (C-VH) Zone concerning frontage, width, and set backs. As stated previously, one lot will be for the existing Iggy's Restaurant and the other lot for an additional commercial pad. Both lots will share the use of the two existing access drives. According to Table 12-34-1 of the Zoning Ordinance, the Commercial-Very High Zone does not have any requirements in regards to minimum or maximum lot size. In addition, buildable area and density are not applicable. It does, however, have a required street frontage of 80 feet, which has been satisfied.

Improvements and Utility Easements Section 15-2-107(3)

Utilities and services are available near or on-site for the future commercial pad. The applicant has provided an exhibit and utility provider sheets indicating adequate services may be found on site. In addition, a 10-foot public utility easement has already been placed on the entire property for both Lots 1 and 2. The applicant will still be responsible for paying any related fees and bonds related to any public improvements.

General Requirements for all Subdivisions Chapter 15-5

It appears that both lots meet all the applicable requirements for subdivision layout. One issue that may be questioned is that of double frontage lots, which is prohibited in most areas throughout the City. Yet, in Section 15-5-102, it allows for an exception along Parrish Lane, west of Main Street.

PLANNING STAFF RECOMMENDATION

Suggested Motion for the small subdivision waiver/lot split for property at 782 West Parrish Lane; "I hereby make a motion for the Planning Commission to approve the small subdivision waiver/lot split for the Centerville Gateway Subdivision, 782 West Parrish Lane, Parcel 02-024-0064, with the following conditions:

1. The small subdivision waiver/lot split shall be for the property located at 782 West Parrish Lane, Parcel Number 02-024-0064.
2. This approval does not represent a site plan approval for development on Lot 2.
3. The required cross-access agreements for parking and circulation shall be submitted and deemed acceptable by the City Attorney prior to the recordation of the subdivision.
4. The applicant shall pay all applicable impact fees and post the related bonds for public improvements prior to recordation of the subdivision.
5. The applicant shall provide the correct address for the new lot, as approved by the Zoning Administrator in accordance with City Ordinances.
6. The following items, as recommended by the City Attorney, shall be effective or addressed as part of this small subdivision waiver approval:
 - a. This review and approval does not represent any site plan approval for future development on either lot. Any future site plans submitted shall meet all applicable City Ordinances and applicable governing documents for the property.
 - b. Applicant shall show all easements of record on the plat or submit a vacation of easement prior to recording the plat and subject to review by the City Engineer. Any additional easements, such as cross-access or parking easements shall be provided to City Engineer and City Attorney for review and acceptance prior to recording the small subdivision waiver plat.
 - c. Any delinquent taxes shall be paid prior to recording the small subdivision waiver plat. Evidence of payment shall be provided by the applicant to the City.
 - d. Prior to recording the small subdivision waiver plat, applicant shall submit an updated title report for the entire island parcel for review and approval of encumbrances and ownership by the City Attorney and City Engineer.
 - e. Prior to recording the small subdivision waiver plat, all easements on the plat shall be submitted to and accepted by the City Council.
 - f. Prior to recording the small subdivision waiver plat, the Third Amendment to the ADL Agreement shall be executed by the parties and recorded against the property.
 - g. Prior to transfer of any lot within the subdivision, the new owner and user must sign an Assignment and Assumption Agreement agreeing to be bound by the Parrish Lane Gateway Neighborhood Development Plan, as amended, and the Agreement for Disposition of Land, as amended; including the RDA's reservation of right to approve successor users and/or tenants. Applicant shall condition the sale of any lot in the subdivision upon new owner entering into

the Assignment and Assumption Agreement as part of closing documents and escrow instructions.

- h. The following plat notes shall be set forth on the final plat for the small subdivision waiver:
 1. Approval of the small subdivision waiver plat by Centerville City does not constitute any representation as to the adequacy of subsurface soil conditions nor the location or depth of ground water tables.
 2. All owners shall be required to provide utility easements for all as-built utilities after the utilities are installed if they do not lie within the boundaries of an existing PUE.
 3. All owners, users, lots and development within the subdivision shall be subject to all agreements, easements, and restrictions governing the property, including, but not limited to, the Parrish Lane Gateway Neighborhood Development Plan, as amended, and the Agreement for Disposition of Land, as amended.

Suggested Reasons for the Action (Findings):

- a. The applicant has submitted a complete application for a Small Subdivision Waiver/Lot Split [Section 15-2-107].
- b. The subdivision qualifies for the small subdivision waiver, in accordance with the criteria found in Section 15-2-107 of the Subdivision Ordinance.
- c. Two commercial lots are consistent with the goals of the Centerville City General Plan concerning development within Neighborhood 2, Southwest Centerville [12-480-3].
- d. The proposed subdivision meets the required development standards for the C-VH Zone. [Chapter 12-34].
- e. With the above conditions being met, the general requirements for all subdivisions have been addressed and fulfilled [Chapter 15-5].

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 2**

APPLICANT: **BRIGHTON CENTERVILLE LLC
C/O TAYLOR SPENDLOVE
215 NORTH REDWOOD ROAD, SUITE 8
NORTH SALT LAKE, UTAH 84054
taylor@brightonhomes-utah.com**

PROPERTY OWNER: **ATIELI & MONALISA HAFOKA
564 WEST PORTER LANE
CENTERVILLE, UTAH 84014**

PROPERTY: **PARCELS 03-001-0125 & 03-001-0145**

PARCEL SIZE: **6.47 ACRES**

APPLICATION: **GENERAL PLAN AMENDMENT
➤ 12-480-1(a)
ZONING MAP AMENDMENT:
➤ REZONE FROM RESIDENTIAL-MEDIUM (R-M) TO
RESIDENTIAL-HIGH (R-H)**

RECOMMENDATION: **APPROVAL OF GENERAL PLAN AMENDMENT AND
REZONE REQUEST**

BACKGROUND

In August of 2014, Brighton Homes received approval for a Zoning Map Amendment in relation to the property located at 564 West Porter Lane from Residential-Low (R-L) to Residential-Medium (R-M). The plan was to rezone the 6.47 acres and then develop an assisted living center. However, their partners who were designing the assisted living center chose a different location and this idea was no longer viable. In order to develop the property and make it viable for the property owner and the developer, they are requesting a rezone from Residential-Medium (R-M) to Residential-High (R-H), to allow for more density of 8 permitted units and 12 with a conditional use permit. However, the General Plan encourages only zoning for R-L and R-M, which would require the applicant petition the City for a General Plan Text Amendment. The applicant believes that both requests are appropriate since to the North is Commercial-Very High (C-VH) and to the south is Residential-Medium (R-M).

GENERAL PLAN AND ZONING MAP AMENDMENT REVIEW

1. Is the proposed amendment consistent with the goals, objectives and policies of the City's General Plan?

- **Staff Response:** According to Section 12-480-3(1)(a), the site is found within the Southwest Neighborhood. One of the goals indicate that from 500 West to the commercial area on the Frontage Road be developed as low to medium density residential. In addition, the plan encourages the use of "planned development" type use to act as a buffer between commercial and single-family uses.

In looking at the Centerville City Zoning Map, the property is surrounded by a variety of differing zoning and uses. To the north is Commercial Very-High (C-VH), to the east and west is Agricultural-Low (A-L) and to the south is Commercial-High (C-H), Residential-Medium (R-M) and Agricultural-Low (A-L). With the applicant requesting an amendment to the General Plan, allowing for R-H to be located from 500 West to the commercial area to the west, it will still be consistent with the objectives of the overall goals. The development would help buffer high intensive commercial to less intensive uses of A-L, R-L and R-M. Shaela Park, a multi-family development is already found to the south in the R-M Zone making the Hafoka property even more of a logical transition.

2. Is the proposed amendment harmonious with the overall character of existing development in the vicinity of the subject property?

- **Staff Response:** The character of the overall development is a mix of differing uses from a church and park to the east, commercial to the north, agricultural to the direct west, with commercial further west along the Frontage Road, and Shaela Park Town Homes to the south. The south side of Porter Lane also has commercial along the Frontage Road and agricultural directly east of Shaela Park. Once again, by designating this area as Residential-High it will allow a greater buffer between the uses. Staff believes that higher density would allow the developer to maximize the use of land and help to create a harmonious character from commercial to residential.

3. What is the extent to which the proposed amendment may adversely affect adjacent property?

- **Staff Response:** One concern by staff in 2014, was the isolation of land to the west. This parcel would remain Agricultural-Low, with commercial to the west and Residential-High to the east. Yet, by keeping the lot in the A-L Zone, it will allow the property owner to decide if he wants the property commercial or residential.

Another issue that was brought up in 2014 was that of traffic. Some citizens expressed concern that with a higher density comes more traffic to the area. However, most traffic generated by a Residential-High development is staggered throughout the day with the majority being in the morning and early evening. Commercial traffic has a much higher adverse effect with cars coming and going all the time. Therefore, staff does not believe the traffic will be increased to the point it creates a negative impact on the surrounding community

4. What is the adequacy of facilities and services intended to serve the subject property?

- **Staff Response:** Adequate facilities are located near the proposed area to be rezoned. The applicant will still be responsible to contact all the utility companies to ensure adequate service. Any future development on the site will also need to address proper detention and drainage of the site.

CONCLUSION

Staff believes the proposed amendments to the General Plan allowing for Residential-High (R-H) within Neighborhood 2, Southwest Centerville, from 500 West to the Frontage Road and north of Porter Lane, would be acceptable in this location. It does not appear that any serious adverse effects would occur, and that it would be a fitting transition from commercial to residential. In addition, the rezone area located at 564 West Porter Lane would also be in harmony with the objectives of creating a buffer as found within the General Plan.

PLANNING STAFF RECOMMENDATION

Suggested Motion for an amendment to the Centerville City General Plan and the Centerville City Zoning Map – I hereby make a motion for the Planning Commission to recommend to the City Council the following amendment to the Centerville City General Plan and the Centerville City Zoning Map:

General Plan Amendment 12-480-3(1)(a)(1)

The area from approximately 500 West to the commercial area on the Frontage Road and north of Porter Lane, may be appropriately developed in low, medium or high density residential. The area from approximately 500 West to the commercial area on the Frontage Road and south of Porter Lane to the southern City boundary Line may be appropriately developed in low, or medium density residential. If the development north of Porter Lane is medium or high residential or south of Porter Lane is medium residential, the use of a Planned Unit Developments is desirable...

Zoning Map Amendment

Rezone parcels 03-001-0125 & 03-001-0145 (6.47 ACRES) owned by Atieli & Monalisa Hafoka, from Residential-Medium (R-M) to Residential-High (R-H).

Suggested Reasons for the Action (Findings):

1. The proposed amendments meet the standards found in Section 12-21-080(e) of the Zoning Ordinance.

2. Creating a buffer between differing uses is a goal consistent with the General Plan [12-480-3(1)(a)(1)].
3. No adverse effects will occur to the immediate area with the approval of the General Plan Amendment and the rezone.

Auto Facilities LLC

HD Development

**564 West Porter Lane
Residential-Medium (R-M)
to Residential-High (R-H) Zone**

LDS Church

Bell, LC

N



Atieli Hafoka

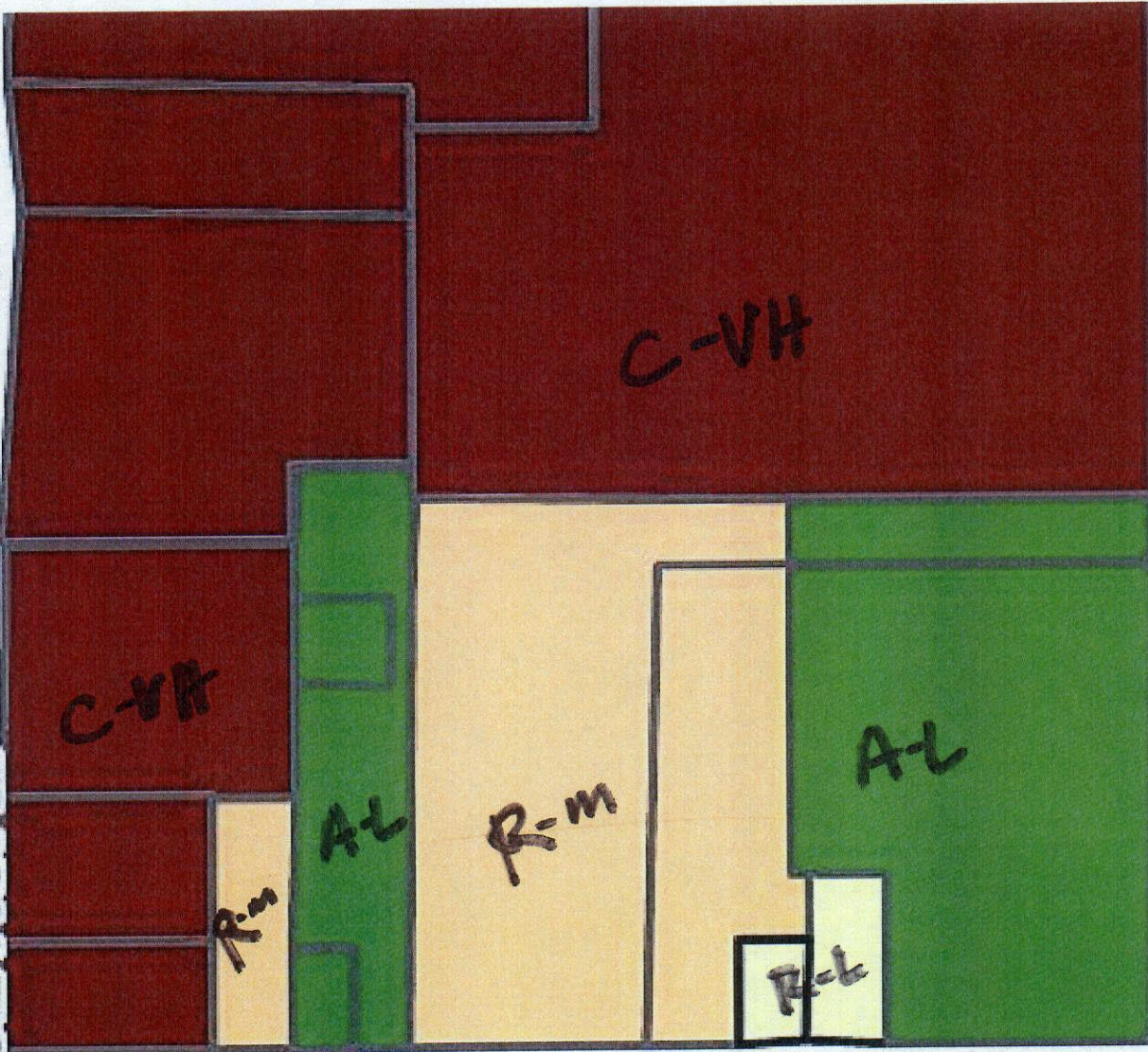
PORTER LN

675 WEST

600 WEST

RECEIVED MAR 25 2015

FRONTAGE ROAD



**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 3**

APPLICANT: FRED HALE / CHAD SALMON
C/O H&S LLC
1778 WEST 1180 SOUTH
WOODS CROSS, UTAH 84087
chad@salmonelectric.com
fredh@colonialbuilding.com

PROPERTY: SOUTHWEST CORNER OF PARRISH LANE & 1250 WEST

ACREAGE: 12.15 ACRES

ZONING: COMMERCIAL-VERY HIGH/PLANNED DEVELOPMENT
(C-VH/PD)

APPLICATION: FINAL SITE PLAN WITH A PHASING APPROVAL
CONSISTING OF FOUR (4) STAGES

RECOMMENDATION(S): APPROVE THE OVERALL FINAL SITE PLAN FOR
PHASING AND APPROVE PHASE 4 FINAL SITE PLAN
CONSISTING OF MULTI-FAMILY USES

BACKGROUND

The applicants desire to receive final site plan approval for the Legacy Trail Apartments Development project. The project consists of four (4) lots; three (3) commercial and one (1) multi-family residential. Additionally, and due to the fact that the project has not yet recorded a subdivision plat, the applicants seek from the Planning Commission an allowance to develop the individual lots in phases (*Section 12-21-110.f*). Phases 1-3 would be developed as separate individual lots with each lot required to obtain a separate final site plan approval. Phase 4, the residential uses, would be reviewed and approved as part of this final site plan request before the Planning Commission.

**PREVIOUS PLANNED DEVELOPMENT OVERLAY REZONE/CONCEPTUAL PLAN
ACCEPTANCE SUMMARIZED**

Staff has reviewed the conditions of associated accepted PDO Conceptual Site Plan (*see-attachment, Ordinance No. 2014-06*). The following summarizes the expectations for developing within the project area:

- PDO/Conceptual Site Plan – depicts four (4) development phases; three (3) commercial use phases and one (1) multi-family use phase.
- Architectural Concepts – Depicts a “village-style” design with enhancements such as, dormers, gables, garages, balconies, and other elements like elements.
- Architectural Colors & Materials – All development must be consistent with the submitted “village style” design or compatible with the Legacy Crossing at Parrish Lane project, or the Shorelands Commerce Park District.
- Parrish Lane Design Guidelines – All development is subject to these guidelines of the Zoning Ordinance,
- Other General Applicable Ordinances – All is development is subject to the other applicable Zoning Regulations, such as Landscaping & Buffering, Parking, Lighting, Signing, etc.
- Substantial Compliance with Accepted PDO Concept Plan – All development must substantially comply with the associated accepted PDO Concept Plan.

FINAL SITE PLAN REVIEW & PLANNING STAFF ANALYSIS

ASSUMPTION OF DEVELOPMENT PHASE APPROVAL/LIMITED TO PHASE 4 REVIEW

The PDO Rezone/Conceptual Plan Acceptance anticipated as four (4)-phase development build-out of the entire development project. Provided that Phases 1-3 are subject to a separate final site plan approval for each phase, staff has focused the rest of this report on Phase 4, the multi-family use of the project (*aka: Lot 4 of the subdivision approval*). Additionally, the plans depict that Lot 4 will be developed in two sub-phases with the clubhouse and south half being developed first and the north half being developed second.

Staff Comment: *The phasing of this lot raises concerns with the amount of units being developed at one time and ensuring that utility services, fire protection, and access is adequately provided and implemented to support the phases independently. This is even more particularly critical with fire suppression and access during construction and after occupancy of the residential dwellings. Staff suggests that the allowance of any sub-phase be dependent upon the following:*

- *Installation of 1250 West common entry as part of the first sub-phase of Lot 4*
- *Fire Marshal approval for fire protection and access*
- *Establishing all-weather access lanes for the entire phased area during construction activities of any phase*
- *Completion of all improvements for utility service, access lanes and parking, and other improvements prior to any occupancy permits being issued for any dwelling and/or building within a sub-phase*
- *Full installation of Parrish Lane common entry with the second sub-phase of Lot 4*

ARCHITECTURAL CONCEPTS

The submitted plans depict buildings with pitched roofs, segmented elevations, with gables, balconies, and stairwell breezeways (*see attachments*).

Staff Comment: *Submitted plans generally appear to comply with PDO expectations. However, the submitted plans neglect the visual design and treatment of the accessory buildings, such as the detached garages, carports, clubhouse, and dumpster facilities.*

ARCHITECTURAL COLORS & MATERIALS

The submitted plans depict the use of brick, cement fiberboard, and stucco. Colors are muted overall and consist of green, red, blue, and grey hues (*see attachments*).

Staff Comment: Submitted plans *generally appear to comply* with PDO expectations.

PARRISH LANE GATEWAY DESIGN CHAPTER 12-63

The General Plan has established Parrish Lane as the “dominant commercial center of Centerville” [Section 12-430-2(3)]. In order to enhance the economic and aesthetic value of the community, the Parrish Lane Gateway Standards have been established. These design standards were reviewed in detail during the conceptual plan acceptance phase. As staff stated earlier, the decorative lighting expectations are part of the standards. Overall, staff believes that these standards have been addressed in the final site plan submittal. Some of the final design highlights are as follows:

- ✦ **Architecture & Development Theme** – As stated earlier, the buildings consist of a “village style” theme with colors compatible with the PDO expectations. Buildings are segmented, with breezeways attaching the segments. Buildings appear to meet the articulation and feature requirements. Buildings are accessible through use of a master planned sidewalk system connected to the public right-of-way and a local trail system. Public spaces (*i.e. residents*) consists of a clubhouse with pool, landscape central court, and a dog park (*i.e. detention basin*).

Staff Comment: Submitted plans *do not address the design and materials of the expected fencing plan. Additionally, the design guidelines require the use of periodic interval pillars for visual relief.*

- ✦ **Screening of Utility and Mechanical Equipment & Lighting** – **Not Provided/Incomplete**
Staff Comment: The submitted plans *neglect to address the screening of utility equipment and meters, as well as the use of satellite dishes. Nonetheless, any wall-based or ground equipment needs to be screened from view of the public street, either through man-made elements or by plant materials as part of the landscape design. Additionally, the submitted plans do not address the use of lighting for security and safety.* Lighting fixtures are to compliment the architectural theme of the “village style” design.

- ✦ **Landscaping and Features** – The submitted plans address the layout and use of landscaping plants and materials: West of Interstate 15, the following design elements are highlighted:

- **Trailside Landscaping** – A drought tolerance & gravel mulch theme design along the trail system spur and front yard areas of the residential buildings located along Parrish Lane.
- **Central Commons** – This commons contains a clubhouse and pool area with a large common landscaped park area. These areas are connected by an internal sidewalk system to all buildings within the development.
- **Dog Park** – The needed detention facility will be also used as a “dog park” and have an access spur and bench connected to the sidewalk system.

Staff Comment: The submitted plans also provide an irrigation plan, which for now will be served by the City's culinary water system. Secondary water is not generally available west of Interstate 15, however, Weber Basin is servicing the Legacy Interchange area landscaping. The applicants have stated that they may seek approval from the State Department of Transportation to connect onto this system.

- ✚ **Off-Street Parking & Lighting** – The parking areas must have 5% interior landscaping and all parking must be within 150 feet of a sidewalk system leading to the buildings. The site must be integrated with adjacent sites and provide cross-access circulation lanes. Site lighting should be attractive and provide pedestrians with the sense of security.

Staff Comment: The PDO Rezone/Conceptual Plan approval created and integrated development that meets the expectations of the guidelines. From review of the submitted plans, it appears the site meets the 5% interior parking lot landscaping. Parking layout meets Ordinance requirements. However, the plans do not address the use of lighting.

- ✚ **Streetscape Standards** – The Streetscape Landscaping Standards along Parrish Lane were modified with the PDO Rezone/Conceptual Plan approval. A trail spur connection is being provided from 1250 West to the Legacy Trail System. This area along with the front yard area landscaping, now comprises the trailside landscaping theme. Additionally, street trees and pedestrian lights are noted on the landscaping plan.

Staff Comment: The submitted plans appear to be consistent with the PDO Rezone/Conceptual Plan approval.

OTHER GENERAL APPLICABLE ORDINANCES

- ✚ **General Landscaping Standards:**

Non-single family residential projects – Must provide at least one (1) tree and two (2) shrubs per dwelling units. In addition, a waiver may be granted for up to 30% of the required trees and shrubs.

Staff Comment: 162 trees are required, only 90 provided. A waiver is needed to reduce the total number of trees to 113 trees (*missing 23 trees*).

Street Front Landscaping – Along Parrish Lane must be at minimum of 30 feet from back of curb. All buildings fronting a public street must have foundation landscaping. One street tree must be provided for every 25 linear feet of street frontage.

Staff Comment: The submitted plans comply with landscaping depth and foundation plantings. However, the plans only provided seven (7) of the required 10 trees.

Internal Parking Lot Landscaping – one tree and two (2) shrubs must be provided for every 25 sq. ft. of required internal parking landscaping (5% is required).

Staff Comment: The submitted plans do not address this requirement.

Plant Material Standards – The Ordinance regulates quality, spacing, and minimum planting sizes.

Staff Comment: As required, the submitted plans were prepared by a licensed landscape architect and appear to be in compliance with applicable regulations.

 General Parking Standards:

Parking Location & Design – Must provide all required stalls on-site unless an off-site approval is granted by the Planning Commission. Additionally, access to parking lot areas must be provided by a common drive access from the public street.

Staff Comment: The submitted plans appear to provide the required on-site parking and access requirements. Additionally, the plans need to address the compliance with applicable ADA Regulations.

Number/Type/Dimension of Parking Spaces – The multi-family residential requires two (2) spaces per dwelling unit (i.e. two or more bedrooms). Parking stalls sizes; 9'x18', carports 9'x20', and garages 10'x20' w/8' door.

Staff Comment: The submitted plans appear to provide the required amount; 162 dwelling units equals 324 parking spaces. The plans depict 279 parking spaces, plus 50 tandem spaces (to be approved by Planning Commission), which equals 329 total parking spaces. The plans appear to meet minimum sizes, with the exception that the plans lack width and door dimensions of the garages.

 Other Applicable Regulatory Standards:

Building Heights & Setbacks – Maximum building height is 45 feet and buildings must be setback 20 feet from Parrish Lane and 6 feet between all buildings.

Staff Comment: The submitted plans appear to comply with these standards.

Outdoor Lighting – Lighting is to be directed downward and not to allow glare to exceed a 90-degree horizontal plane (see also Parrish Lane Design Guidelines).

Staff Comment: A Lighting Plan was not provided.

Fences and Walls – Fences and Walls may not exceed six (6) feet in height (without approval from the Commission) or four (4) feet in any front yard.

Staff Comment: Generally, the plans appear to comply with this requirement. However, the PDO Rezone/Conceptual Plan approval included a fencing plan for the entire development.

SUBSTANTIAL COMPLIANCE WITH ACCEPTED PDO REZONE/CONCEPT PLAN

From staff's review of the PDO Rezone/Conceptual Plan, the submitted plans appear to be substantially in compliance with the associated overlay approval. However, as noted earlier in various sections, the plans need additional detail and information to ensure compliance with the all applicable Ordinances and regulations.

PLANNING STAFF RECOMMENDATION

FINAL SITE PLAN – Staff Suggested Motion:

PROPOSED ACTION: I hereby make a motion for the Planning Commission to approve the final site plan for Legacy Trail Apartments project to be located at the southwest corner of 1250 West and Parrish Lane, with the following conditions:

1. The development of the property shall be subject to the layout and design as submitted and reviewed by the Commission on April 22, 2015, subject to any future allowed amendments as defined in City Ordinances.
2. The project may consist of four (4) development phases; three (3) commercial and one (1) multi-family residential.
3. Phases 1-3 shall be subject to a separate final site plan approval for each respective phase.
4. A final site plan for Phase 4 is hereby approved and may be developed in two sub-phases with the clubhouse and south half being developed first and the north half being developed second, subject to the following:
 - i. *Installation of the 1250 West common entry as part of the first sub-phase of Lot 4*
 - ii. *Fire Marshal approval for fire protection and access of any sub-phase*
 - iii. *Establishing all-weather access lanes for the entire sub-phased area during construction activities*
 - iv. *Completion of all improvements for utility service, access lanes and parking, and other improvements prior to any occupancy permits being issued for any dwelling and/or building within a sub-phase*
 - v. *Full installation of Parrish Lane common entry with the second sub-phase of Phase*
5. The final site plan for Phase 4 submittal shall be revised to re-address the following:
 - i. *Resubmitted plans shall address the visual design and treatment of the accessory buildings, such as the detached garages, carports, clubhouse, and dumpster facilities. The design and treatment shall be compatible with the design and treatment of the main buildings.*
 - ii. *Resubmitted plans shall address the design and materials of the expected fencing plan. Additionally, the fencing shall address the Design Guidelines requiring the use of periodic interval pillars for visual relief.*
 - iii. *Resubmitted plans shall address the screening of utility equipment and meters, as well as the use of satellite dishes. Any wall-based or ground equipment shall be screened from view of the public street, either through man-made elements or by plant materials as part of the landscape design.*
 - iv. *The resubmitted plans address the use of lighting for security and safety. Lighting fixtures are to compliment the architectural theme of the "village style" design and shall comply with the outdoor lighting standards of the Zoning Ordinance or other applicable City Regulation.*
 - v. *The final site plan submittal shall address the compliance with applicable ADA Regulations for parking and access to the buildings within the development.*

6. The Landscaping Plan shall be revised, as follows:
 - i. Revised to provide the required 162 landscaping trees. Nonetheless, the applicants may make application and seek a "waiver of strict compliance" to be reviewed and considered by the Planning Commission
 - ii. Revised to provide 10 streetscape trees along Parrish Lane
 - iii. Revised to provided one tree and two (2) shrubs for every 25 sq. ft. of required internal parking landscaping (5% is required)
7. The Planning Commission hereby approves a tandem parking allowance for all integrated garage based parking within the main buildings. However, the final site plan shall be revised to ensure that the use of all garages meet the applicable 10' x 20' parking dimensions of the Zoning Ordinance.
8. With the exception of the "waiver of strict compliance" for landscaping trees, the revised final site plan may be reviewed and deemed acceptable by City staff. However, any disagreement that may arise, it shall return to the Planning Commission for resolution.
9. The final site plan approval shall be subject to the payment of applicable bonding, fees, and other related development costs, as defined in the City's Ordinance and Fee Schedule.

SUGGESTED REASONS FOR THE ACTION:

- a. The Planning Commission finds that, with the conditions imposed, the final site plan substantially complies with the associated PDO Rezone/Conceptual Plan approval.
- b. The Planning Commission finds the final site plan submittal, with the conditions imposed, satisfies the applicable general Development Standards [Chapters 12-43, 12-51, 12-52] and the Parrish Lane Design Guidelines [Chapter 12-63] and as addressed in the Planning Staff Report.

ORDINANCE NO. 2014-06

AN ORDINANCE AMENDING THE CENTERVILLE CITY ZONING MAP BY CHANGING THE ZONING OF APPROXIMATELY 12.15 ACRES OF CERTAIN REAL PROPERTY AS DESCRIBED HEREIN FROM COMMERCIAL VERY HIGH (C-VH) TO COMMERCIAL VERY HIGH/PLANNED DEVELOPMENT (C-VH/PD) AND ACCEPTING CONCEPTUAL PLAN FOR THE LEGACY TRAIL APARTMENTS PLANNED DEVELOPMENT.

WHEREAS, the City is authorized to enact a zoning map consistent with the purposes set forth in the Utah Land Use Development and Management Act, as more particularly provided in *Utah Code Ann.* §§ 10-9a-101, *et seq.*, as amended, and the City is further authorized to make amendments to such zoning map in accordance with procedures set forth in *Utah Code Ann.* § 10-9a-503, as amended; and

WHEREAS, in accordance with applicable provisions of Utah law and the goals of the Centerville City General Plan for the subject property as set forth in Section 12-480-6, West Centerville Neighborhood Plan, the City Council desires to amend the Centerville City Zoning Map to rezone the subject property from Commercial Very High (C-VH) to Commercial Very High/Planned Development (C-VH/PD) as more particularly provided herein; and

WHEREAS, as part of the Planned Development Overlay (PDO) Zone requirements, requests for PDO zoning shall include a conceptual plan for review and acceptance by the City concurrent with the rezoning decision; and

WHEREAS, the proposed amendments to the Centerville City Zoning Map as set forth herein have been reviewed by the Planning Commission and the City Council and all appropriate public noticing and hearings have been provided and held in accordance with Utah law to obtain public input regarding the proposed revisions to the City Zoning Map and acceptance of the Conceptual Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF CENTERVILLE CITY, STATE OF UTAH, AS FOLLOWS:

Section 1. Zone Map Amendment. Subject to conditions of approval set forth in Section 3, the real property located at approximately 1250 West and Parrish Lane in West Centerville consisting of approximately 12.15 acres as more particularly described in the legal descriptions set forth in **Exhibit A**, attached hereto and incorporated herein by this reference, is hereby rezoned and changed from Commercial Very High (C-VH) to Commercial Very High/Planned Development (C-VH/PD) and the Centerville City Zoning Map is correspondingly amended as described herein.

Section 2. Conceptual Plan Acceptance. Subject to conditions of approval set forth in Section 3, the Conceptual Plan for the Legacy Trail Apartments Planned Development, as more particularly described in **Exhibit B**, attached hereto and incorporated herein by this reference, is hereby accepted by the City Council.

Section 3. Conditions of Approval. Rezone approval and acceptance of the Conceptual Plan for the Legacy Trail Apartments Planned Development is subject to the following conditions of approval:

1. The Legacy Trail Apartments Development Approved Conceptual Plan shall consist of the following, as submitted to the City:
 - a. Architectural Site Plan – a colorized plan depicting the development layout, including the concept commercial and residential design concepts.
 - b. Architectural Site Plan – a plan depicting the development layout with dimensions depicting conceptual setbacks, building heights, drive entrance and isle widths, with landscaping, building foot prints, hard surface percentages for the development site.
 - c. Phasing Plan – a colorized phasing plan depicting four (4) development phases. As approved by the City Council, Phases II-IV shall be commercial use only (no flex-use or residential option for Phase III is permitted).
 - d. Pedestrian Circulation Plan – a blue/red colorized layout depicting the proposed major and minor connections and pathways.
 - e. Fencing Plan – a blue/red colorized layout depicting the 4-foot and 6-foot fence locations and the selected designs.
2. The land uses and layout expectations approved for the Development are as follows:
 - a. Convenience Store Uses – 1-Story Main Building w/ fuel canopy and 25 parking stalls
 - b. Retail/Office Uses – Two (2) - 1-Story Main Buildings, 12,600 sq. ft. w/ 39 and 42 parking stalls, respectively
 - c. Multi-family Residential Uses - 3-Story Main Buildings (7 structures), 162 dwelling units, 369 parking stalls
 - d. Total Building Footprints;
 - i. Commercial = 22,779 sq. ft.
 - ii. Residential = 83,509 sq. ft.
 - e. Hard Surface Development;
 - i. Commercial = 86,101 sq. ft.
 - ii. Residential = 124,757 sq. ft.
 - f. Landscaping Coverage;
 - i. Commercial = 47,988 sq. ft.
 - ii. Residential = 158,510 sq. ft.
 - g. Pathway/Trail System – Internal/external pathways connecting to a proposed off-site trail connecting to Birnam Woods Trailhead (i.e. Legacy/D&RG Trail system).
3. The Development shall be subject to all applicable final site plan and subdivision development approvals, as defined in City Ordinances.
4. The PDO Conceptual Plan Approval does not include approval of any specific variations to the development standards of the Zoning or Subdivision Ordinances.
5. All final development approvals within the project area shall be deemed substantially consistent with the accepted Conceptual Plan Layout and Design.

6. The Commercial and Residential Architectural Concepts, as depicted on the Conceptual Plan, shall accomplish the following:
 - a. The building design expectation is a village-style design
 - b. Buildings with full pitched roofs
 - c. Use of dormers, gables, box windows, and canopies for windows and entryways
 - d. Garages, balconies and entry portals for residential buildings
 - e. Pedestrian amenities such as patios, plazas, and enhanced entries for the commercial uses
 - f. Colors and materials that are consistent with the Conceptual Design Plan, and may also include colors or materials compatible with the Legacy Crossing development or from the template of the Shorelands Commerce Park Design Guidelines.
 - g. All buildings to have a substantial architectural material base using rock, brick, or other similar maintenance free design material (*see provision Section 12-63-040.c.2*).
7. The Development shall be subject to the applicable Parrish Lane Gateway Design Guidelines, Off-street Parking, and Landscaping provisions of the Zoning Ordinance.
8. As part of Phase II Final Site Plan approval (*service station phase*), the Development shall establish and maintain an entryway landscaping theme along Parrish Lane and at the corner of Parrish/1250 West (*see Objective 2.E of the West Centerville Neighborhood Plan*).
9. The following options are available with regard to traffic circulation patterns;
 - a. Allow one access at 1250 to be a full turn ingress/egress (Phase 2).
 - b. Receive UDOT approval for the ingress/egress on Parrish Lane.
 - c. The right-turn pocket lane shall be installed with the 1250 West ingress.
 - d. The design of the right-turn pocket lanes for Parrish Lane shall be reviewed and deemed acceptable by UDOT.
 - e. The construction or reconstruction of street related infrastructure for 1250 West shall comply with the recommendations of the City Engineer and/or the recommendations of a traffic engineer, as deemed acceptable by the City.
10. The PDO Concept Plan acceptance is subject to all other applicable City Ordinances and other related development applications and approvals.
11. All future development within the Legacy Trail Apartments Planned Development must substantially comply with the Concept Plan acceptance, except as otherwise amended by the City.

Section 4. Findings. The rezone of the subject property to C-VH/PD and corresponding amendment to the Centerville City Zoning Map and acceptance of the Conceptual Plan for the Legacy Trail Apartments Planned Development are based on the following findings:

1. The proposed mixture of commercial and residential uses is consistent with the West Centerville Neighborhood Plan.

2. The West Centerville Neighborhood Plan envisioned only medium box type commercial uses, capped a 125,000 sq. ft.
3. The market conditions are not ripe now, nor likely in the future for medium box commercial uses, as evidenced by the following:
4. Farmington Station Park was developed after the West Centerville Plan adoption. Farmington Station Park has likely saturated the market for developing medium box type commercial uses.
5. Legacy Crossing at Parrish Lane provides space for medium box type commercial uses that have not yet come to fruition (i.e. Legacy Crossing at Parrish Lane development).
6. The petitioner has provided written opinions from Tate Properties and Mountain West, commercial real estate consultants, supporting the lack of medium box and restaurant interest in this area.
7. Limiting the allowance of other types of multi-family development negatively isolates the already developed multi-family of Legacy Crossing.
8. Master planning the entire area is better suited to address any impacts than to piecemeal development under an already long list of permitted commercial uses.
9. Thus, a PDO rezone provides an enhanced tool to address any development related concerns and maximizes the development opportunities for the entire site.
10. The City Council finds that the proposed development does not conflict with any applicable policy of the Centerville City General Plan.
11. The City Council finds that the proposed development meets the spirit and intent of the Zoning Ordinance as set forth in Section 12-41-010.
12. The City Council finds that the proposed development will allow integrated planning and design of the property and, on the whole, better development than would be possible under conventional zoning regulations.
13. The City Council finds that the proposed development meets the use and development limitations and other requirements of the zone with which the PDO zone is combined, except as otherwise allowed by the Zoning Ordinance.
14. The City Council finds that the proposed development meets the density limitations of the General Plan.
15. The City Council finds that the petitioners have or will have sufficient control over the property to be developed to ensure development will occur as approved.
16. The City Council finds that the petitioners appear likely to have the financial capability to carry out the planned development project.
17. The City Council finds that the petitioners will likely have the capability to start construction within one (1) year of a final plan approval.

Section 5. Severability. If any section, part or provision of this Ordinance is held invalid or unenforceable by a court of competent jurisdiction, such invalidity or unenforceability shall not affect any other portion of this Ordinance, and all sections, parts and provisions of this Ordinance shall be severable.

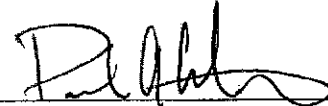
Section 6. Effective Date. Subject to conditions of approval set forth in Section 3, this Ordinance shall become effective upon publication or posting, or thirty (30) days after passage, whichever occurs first.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF CENTERVILLE CITY,
STATE OF UTAH, THIS 19 DAY OF MARCH, 2014.**

ATTEST:

CENTERVILLE CITY


Marsha L. Morrow, City Recorder

By: 
Mayor Paul A. Cutler

Voting by the City Council:

	"AYE"	"NAY"
Councilmember Averett	_____	<u>X</u>
Councilmember Fillmore	<u>X</u>	_____
Councilmember Higginson	<u>X</u>	_____
Councilmember Ivie	_____	<u>X</u>
Councilmember Wright	<u>X</u>	_____



EXHIBIT A

Rezone Property Description



Balling Engineering

323 East Pages Lane
P.O. Box 805
Centerville, Utah 84014
Phone: (801) 295-7237
Fax: (801) 299-0419
Email: jscottballing@gmail.com

March 24th, 2014

Description of Legacy Trail Property Overall Description

Beginning at the North Corner of Parcel 4 of the Legacy Crossing Road Dedication as recorded in Entry No. 2562864, Book 5140, Page 619 which point is $N0^{\circ}05'33''W$ 2,096.72 ft. along the section line and West 1,430.14 ft. from the Southeast Corner of Section 12, T.2N., R.1W., S.L.B. & M. and running thence $N0^{\circ}03'06''E$ 176.71 ft. along the West Boundary of 1250 West Street to the most southerly point of the property described in final judgement of compensation and condemnation recorded 12/02/2011 as Entry No. 2630277 in Book 5410, Page 170; thence along said property in the following four courses: (i) $N20^{\circ}00'00''W$ 132.78 ft., (ii) $N89^{\circ}24'50'09''W$ 113.72 ft., (iii) Westerly 197.54 ft. along the arc of a 902.33 ft. radius curve to the right (LC bears $N83^{\circ}33'48''W$ 197.15 ft.), (iv) $N89^{\circ}36'02''W$ 138.63 ft. to a point which is $S0^{\circ}01'07''W$ 232.13 ft. along the Quarter Section Line and East 196.78 ft. and $S89^{\circ}54'34''E$ 523.75 ft. from the Center of said Section 12; thence $N89^{\circ}54'34''W$ 110.20 ft. along the Southerly R/W Line of Parrish Lane to the Easterly R/W Line of a Highway know as project No. 0067; thence along said Easterly R/W Line in the following eight (8) courses and distances: (i) Southwesterly 44.11 ft. along the arc of a 84.65 ft. radius curve to the left, chord bears $S24^{\circ}57'58''W$ 43.61 ft., (ii) $S10^{\circ}02'15''W$ 156.95 ft., (iii) Southerly 39.52 ft. along the arc of a 591.21 ft. radius curve to the right, chord bears $S16^{\circ}40'25''W$ 39.51 ft., (iv) $S18^{\circ}34'47''W$ 251.29 ft., (v) Southerly 112.55 ft. along the arc of a 1,005.91 ft. radius curve to the right, chord bears $S21^{\circ}48'19''W$ 112.50 ft., (vi) $S25^{\circ}00'19''W$ 207.09 ft., (vii) Southwesterly 80.82 ft. along the arc of a 315.15 ft. radius curve to the right, chord bears $S32^{\circ}54'50''W$ 80.59 ft., (viii) Southwesterly 20.21 ft. along the arc of a non-tangent 2,220.14 ft. radius curve to the right, chord bears $S26^{\circ}37'45''W$ 20.21 ft.; thence $N89^{\circ}43'48''E$ 413.28 ft. to the Southwest Corner of the Tumblewood Condominiums, said point being $N0^{\circ}01'07''W$ 1,560.27 ft. along the Quarter Section Line and $N89^{\circ}07'03''E$ 702.26 ft. from the South Quarter Corner of said Section 12; thence along the boundary of said Tumblewood Condominiums in the following two courses: (i) $N1^{\circ}13'17''E$ 171.07 ft. and (ii) $N89^{\circ}07'03''E$ 507.87 ft.; thence $N0^{\circ}03'06''E$ 94.20 ft. along said West boundary of 1250 West Street to the South Corner of said Parcel 4 of Legacy Crossing Road Dedication; thence along the west boundary of said Parcel 4 in the following three courses to the point of beginning: (i) Northwesterly 85.31 ft. along the arc of a 140.00 ft. radius curve to the left (LC bears $N17^{\circ}30'26''W$ 84.47 ft.), (ii) Northerly 94.39 ft. along the arc of a 77.00 ft. radius curve to the right (LC bears $N0^{\circ}03'06''E$ 88.59 ft.), (iii) Northeasterly 85.31 ft. along the arc of a 140.00 ft. radius curve to the left (LC bears $N17^{\circ}36'38''E$ 84.47 ft.)

Containing 12.0222 Acres

EXHIBIT B

Legacy Trail Apartments Conceptual Plan

Architectural Concepts, Inc.
 1000 West 1000 South
 Salt Lake City, UT 84119
 (801) 552-1000

Legacy Trail Apartments
 1250 W Parrish Ln.
 Centerville, Utah

Sheet Title
 Architectural Site Plan

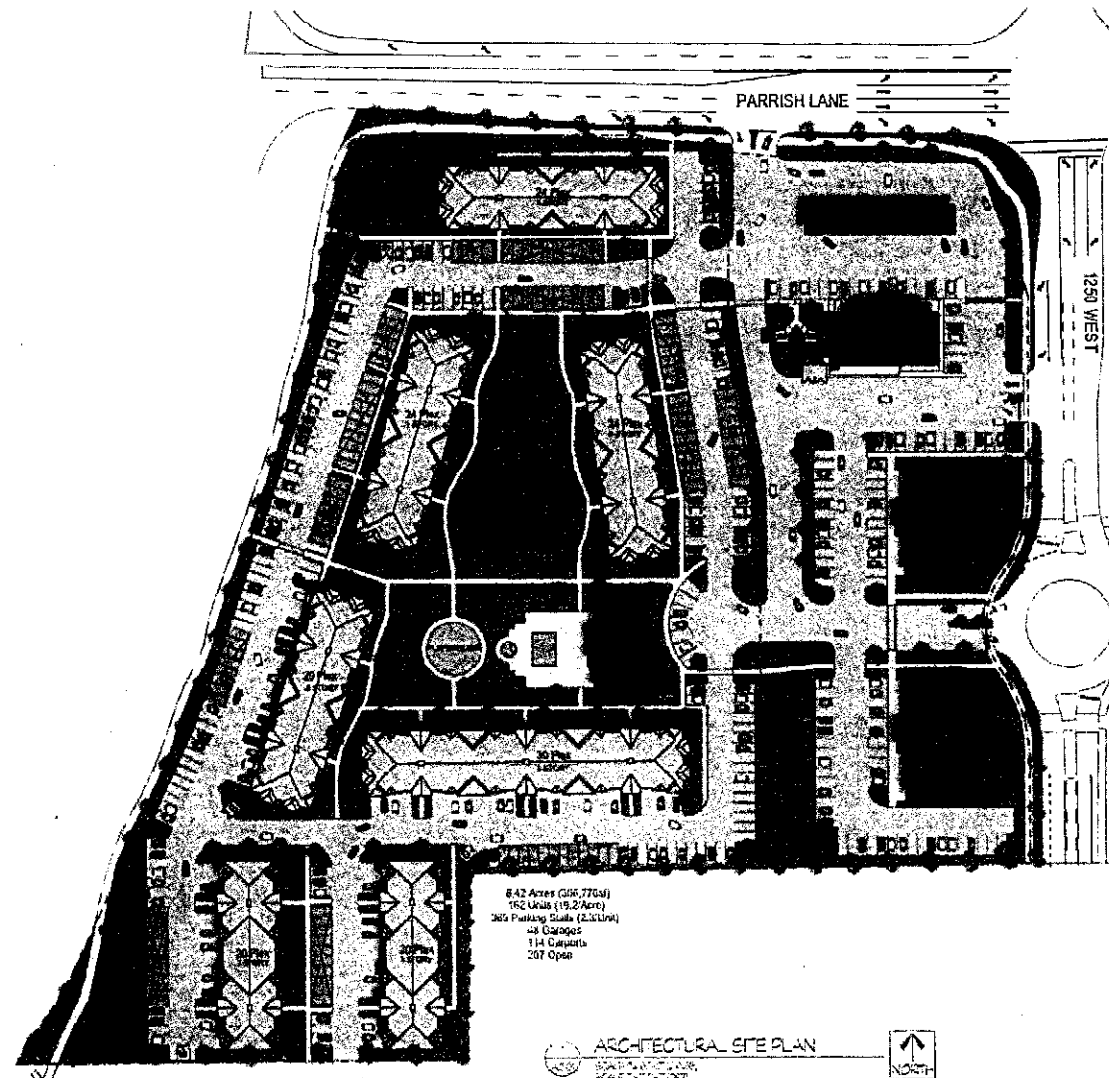
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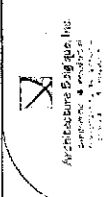
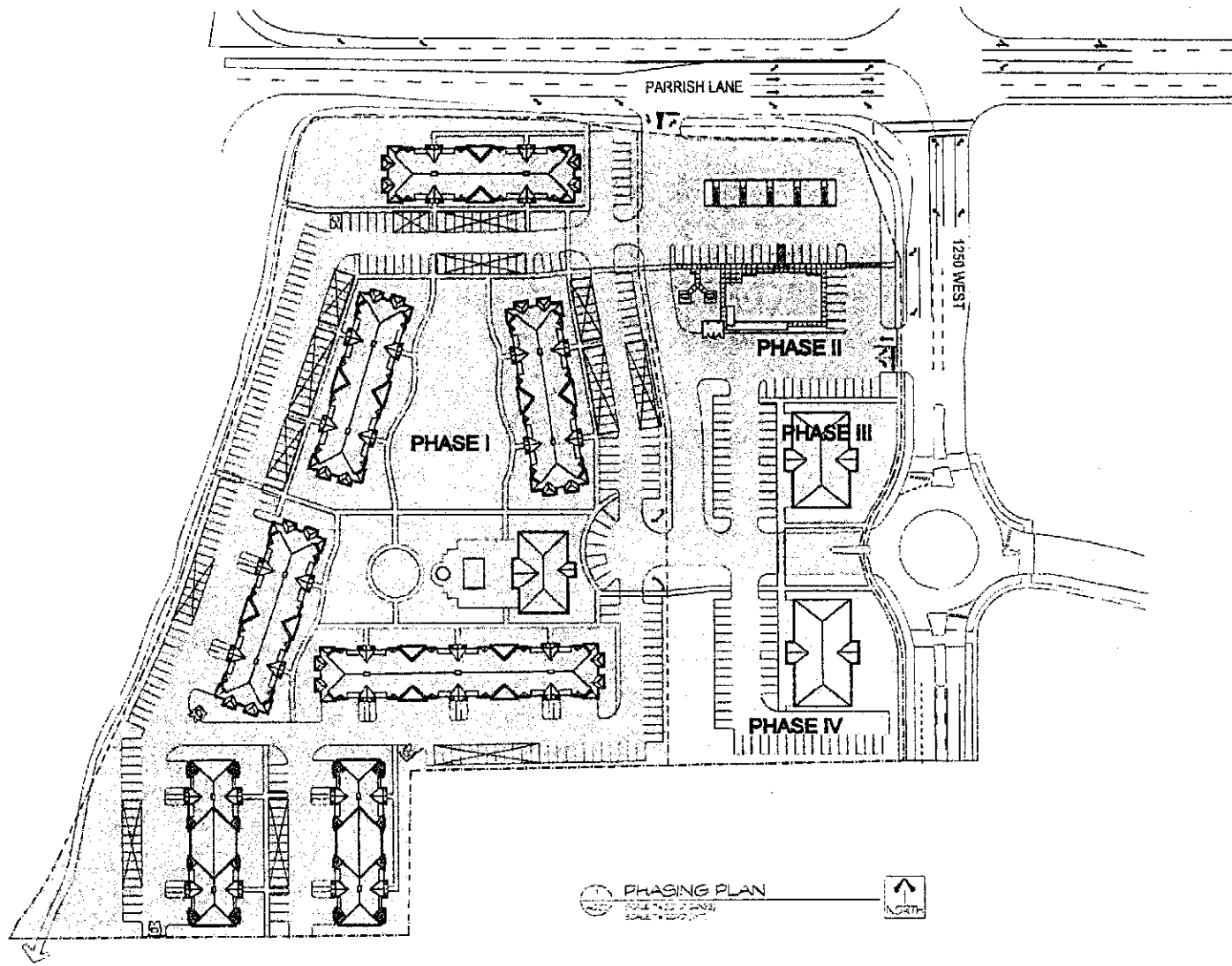
Sheet Number
 A-001

COMMERCIAL ARCHITECTURAL CONCEPTS



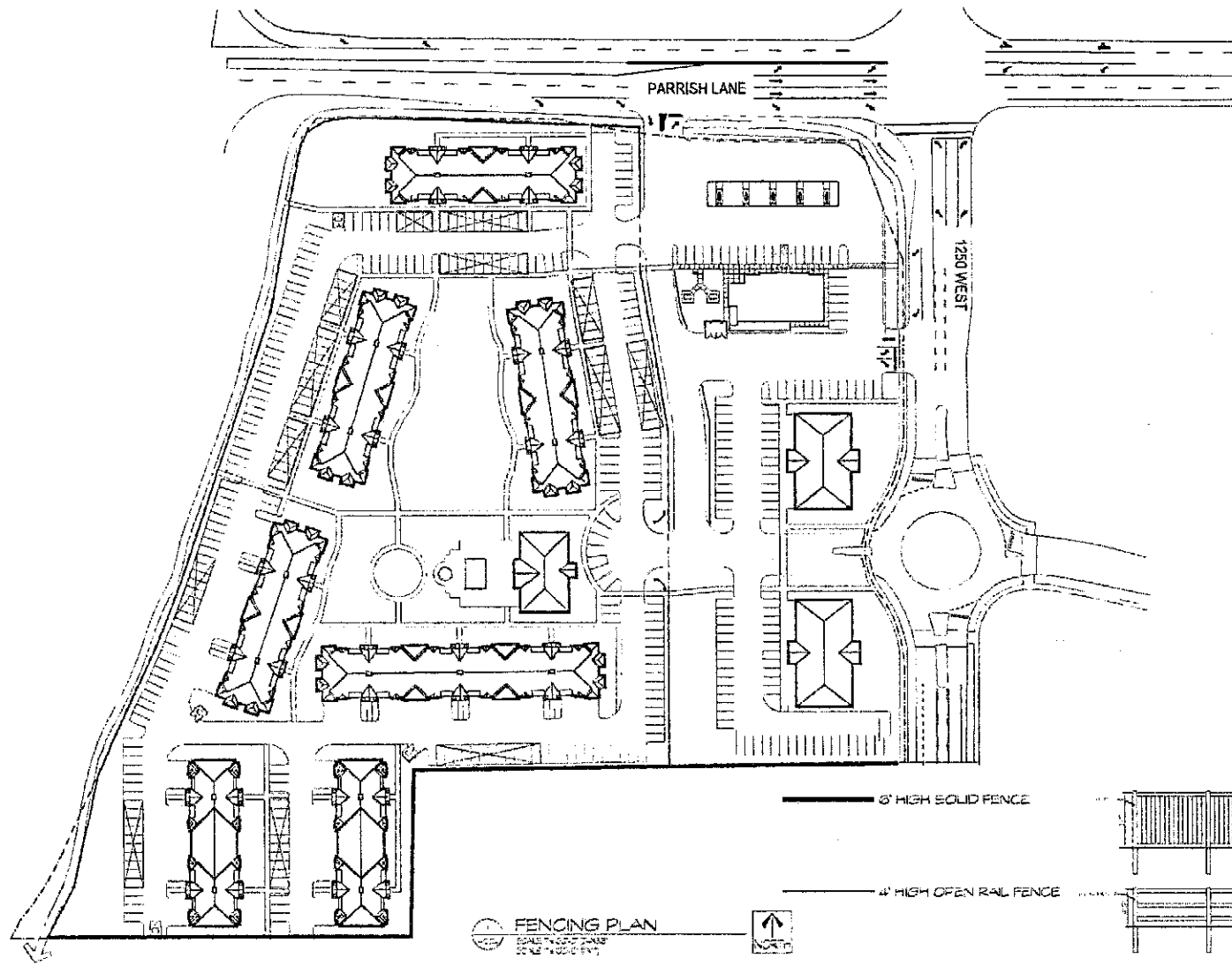
RESIDENTIAL ARCHITECTURAL CONCEPTS





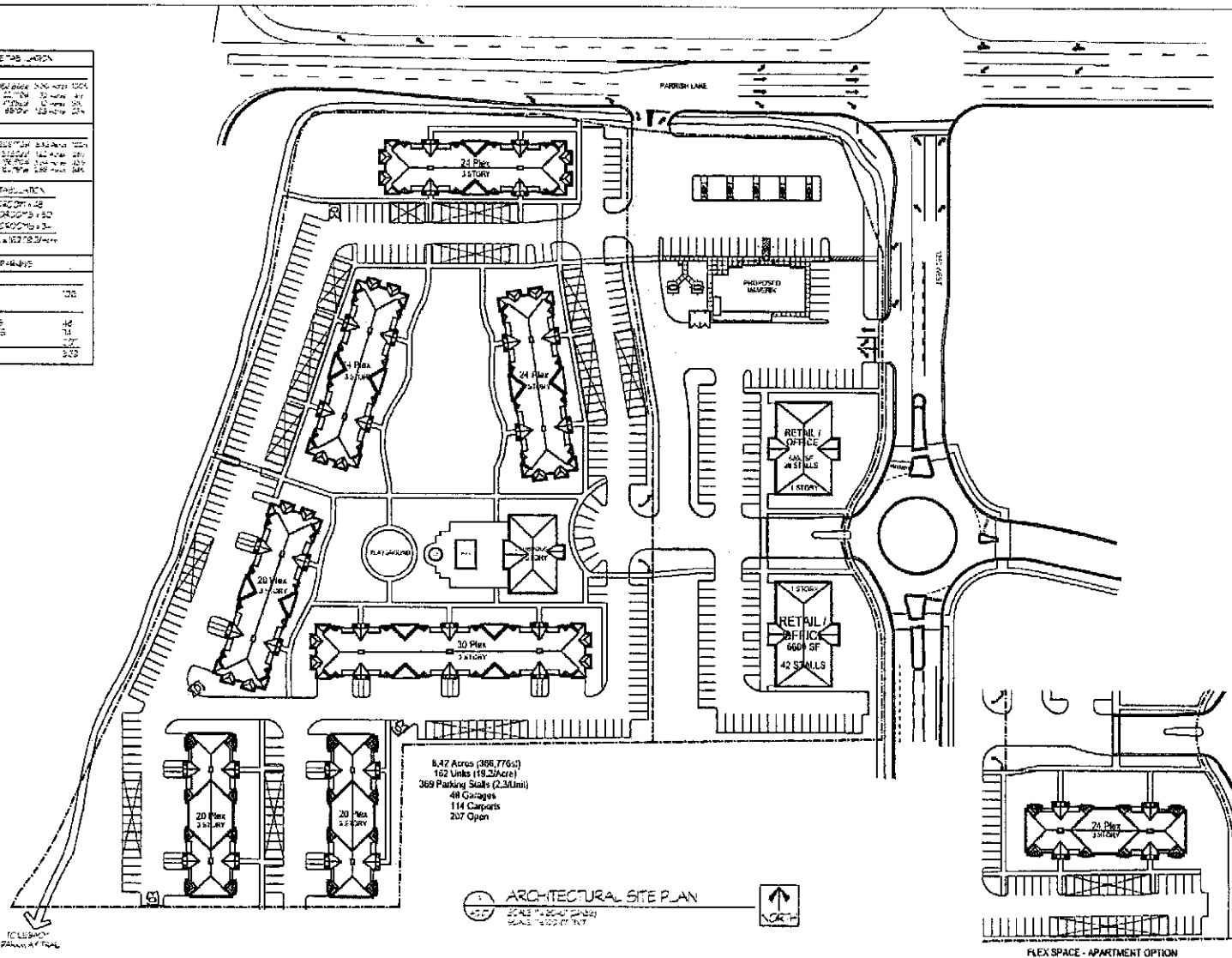
Legacy Trail Apartments
1250 W Parrish Ln.
Centerville, Utah

Sheet Title
Architectural Site Plan
Date
March 3, 2014
Sheet Number
A-0.02



 Architecture & Design, Inc. 1250 West Centerville, Utah	Legacy Trail Apartments 1250 W Parrish Ln. Centerville, Utah	Sheet Title Architectural Site Plan	Date March 3, 2006	Sheet Number A-004
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SITE SUMMARY	
CONNECTION	
TOTAL SF	64,000 (3.00 ACRES)
Garage	11,000 (0.50 ACRES)
Carports	11,000 (0.50 ACRES)
Open	42,000 (2.00 ACRES)
RESIDENTIAL	
TOTAL SF	100,000 (4.50 ACRES)
Garage	11,000 (0.50 ACRES)
Carports	11,000 (0.50 ACRES)
Open	78,000 (3.50 ACRES)
UNIT TYPE - AREA	
1 BEDROOM + 1.5 BATH	1,000 SF
2 BEDROOMS + 2 BATH	1,200 SF
3 BEDROOMS + 3 BATH	1,500 SF
TOTAL	100,000 SF
PARKING	
CONNECTION	
TOTAL	100
RESIDENTIAL	
Garages	40
Carports	40
Open	20
TOTAL	100



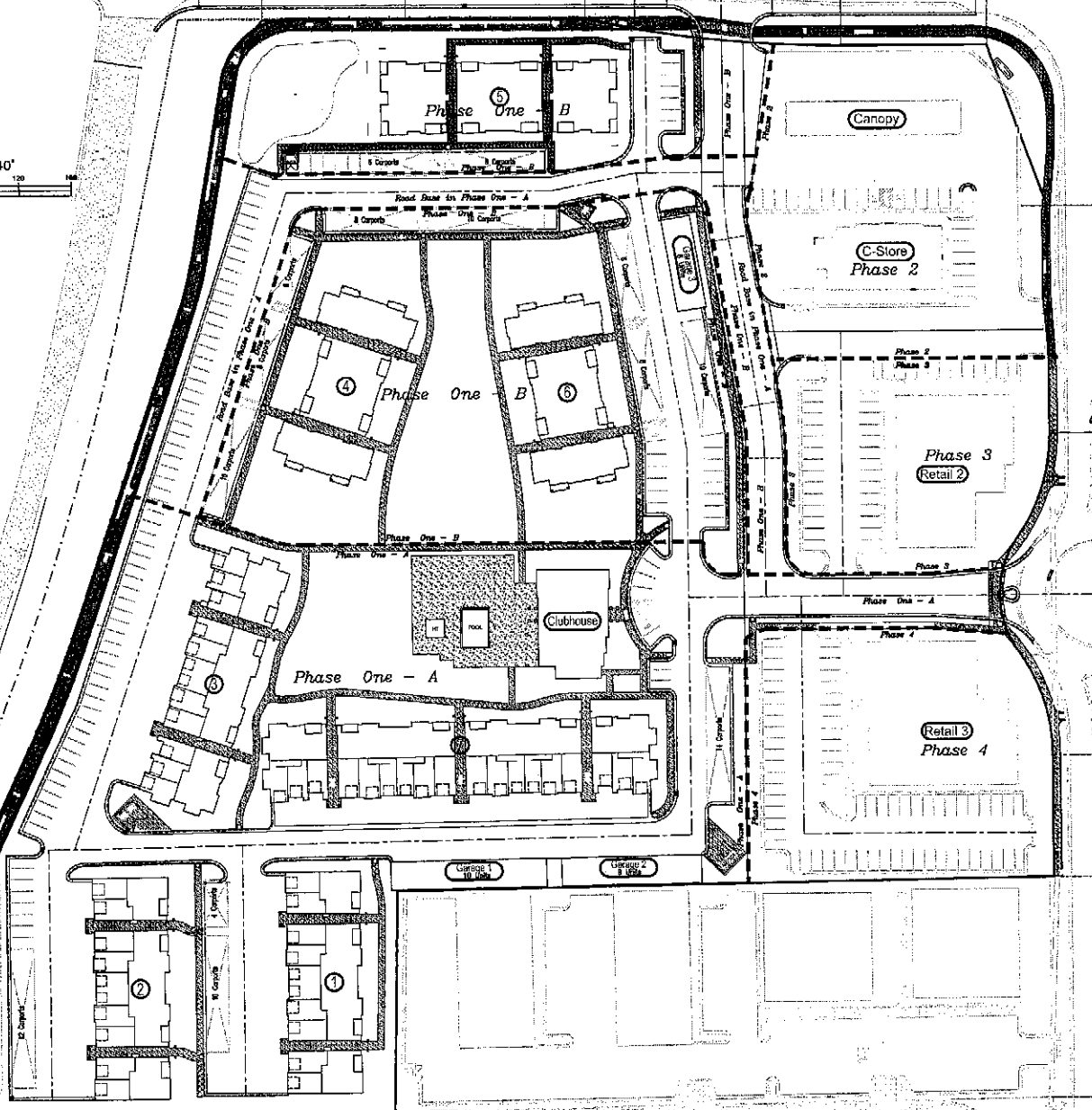
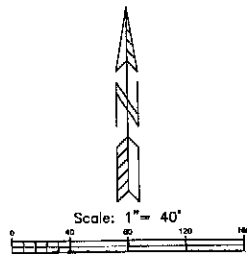
Architecture Plus & Inc.
1250 W. PARISH LN.
CENTREVILLE, UT 84005

Legacy Trail Apartments
1250 W. Parish Ln.
Centerville, Utah

Sheet Title
Architectural
Site Plan

Date
March 3, 2024

Sheet Number
A-0.01



Legacy Trails Phasing Schedule

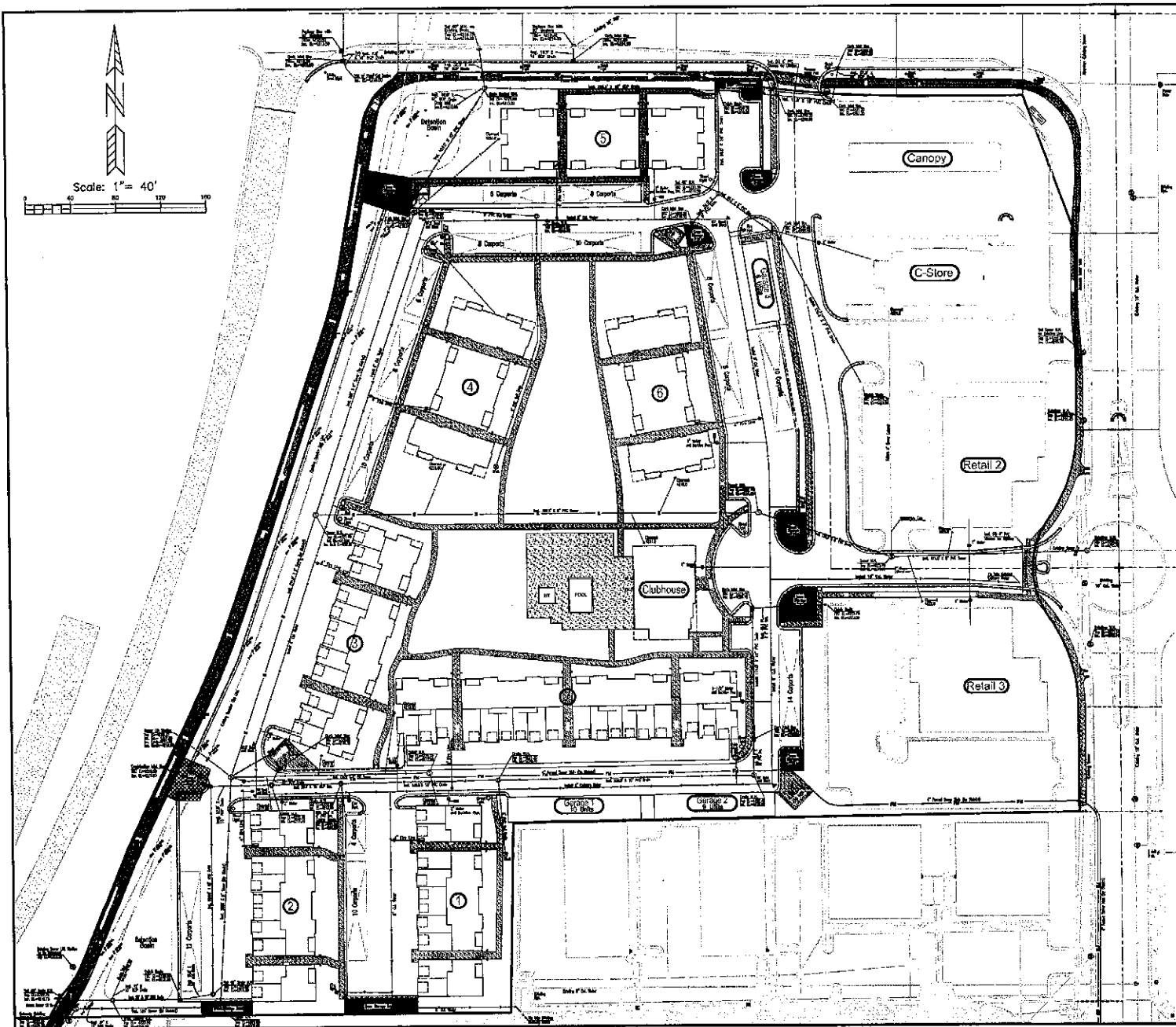
	Site Plan Approval	Final Site Plan Approval
Phase One-A	Recording	All Within Lot 4
First	Record Subdivision	Record Subdivision
Second	Record Subdivision	Payroll of Bonds
Third	Record Subdivision	Record for Trail Installation
Fourth	Record Subdivision	Record for Paved Lane Improvements
Phase One-B	Record Subdivision	Record for Paved Lane Improvements
First	Record Subdivision	Record for Paved Lane Improvements
Second	Record Subdivision	Record for Paved Lane Improvements
Third	Record Subdivision	Record for Paved Lane Improvements
Fourth	Record Subdivision	Record for Paved Lane Improvements
Phase One-C	Record Subdivision	Record for Paved Lane Improvements
First	Record Subdivision	Record for Paved Lane Improvements
Second	Record Subdivision	Record for Paved Lane Improvements
Third	Record Subdivision	Record for Paved Lane Improvements
Fourth	Record Subdivision	Record for Paved Lane Improvements
Phase Two	Record Subdivision	Record for Paved Lane Improvements
First	Record Subdivision	Record for Paved Lane Improvements
Second	Record Subdivision	Record for Paved Lane Improvements
Third	Record Subdivision	Record for Paved Lane Improvements
Fourth	Record Subdivision	Record for Paved Lane Improvements
Phase Three	Record Subdivision	Record for Paved Lane Improvements
First	Record Subdivision	Record for Paved Lane Improvements
Second	Record Subdivision	Record for Paved Lane Improvements
Third	Record Subdivision	Record for Paved Lane Improvements
Fourth	Record Subdivision	Record for Paved Lane Improvements
Phase Four	Record Subdivision	Record for Paved Lane Improvements
First	Record Subdivision	Record for Paved Lane Improvements
Second	Record Subdivision	Record for Paved Lane Improvements
Third	Record Subdivision	Record for Paved Lane Improvements
Fourth	Record Subdivision	Record for Paved Lane Improvements

Balling Engineering
Civil Engineering • Surveying • Planning
Phone: (801) 255-7237
Fax: (801) 255-0419
Email: info@balling.com

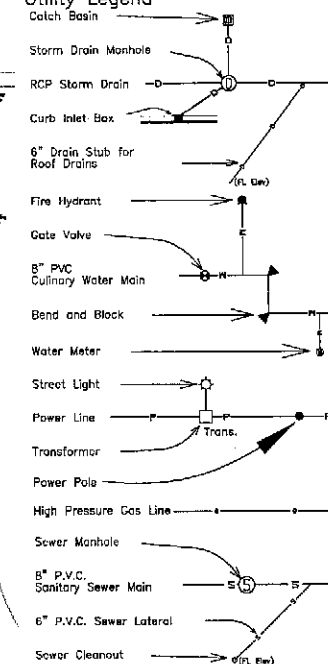
Legacy Trail Apartments
Phasing Plan
For Fred Hale
176 Colonial Number
Bldg. info@balling.com

Revisions	By	Date	Description
1	D.K. Balling	12-20-13	Final Survey
2	A.S. Balling	1-15-14	Check By
3	A.S. Balling	2-14-15	Submitted Date
4	A.S. Balling	3-14-15	Plan Number

C006
Sheet 6 of 24



Utility Legend



Legacy Trail Apartments

Utility Plan

For Fred Hale
c/o Colonial Lumber
Email: fredhale@belling.com

630 No. 400 West
Centerville, Utah
Phone: (801) 265-4471

Belling Engineering

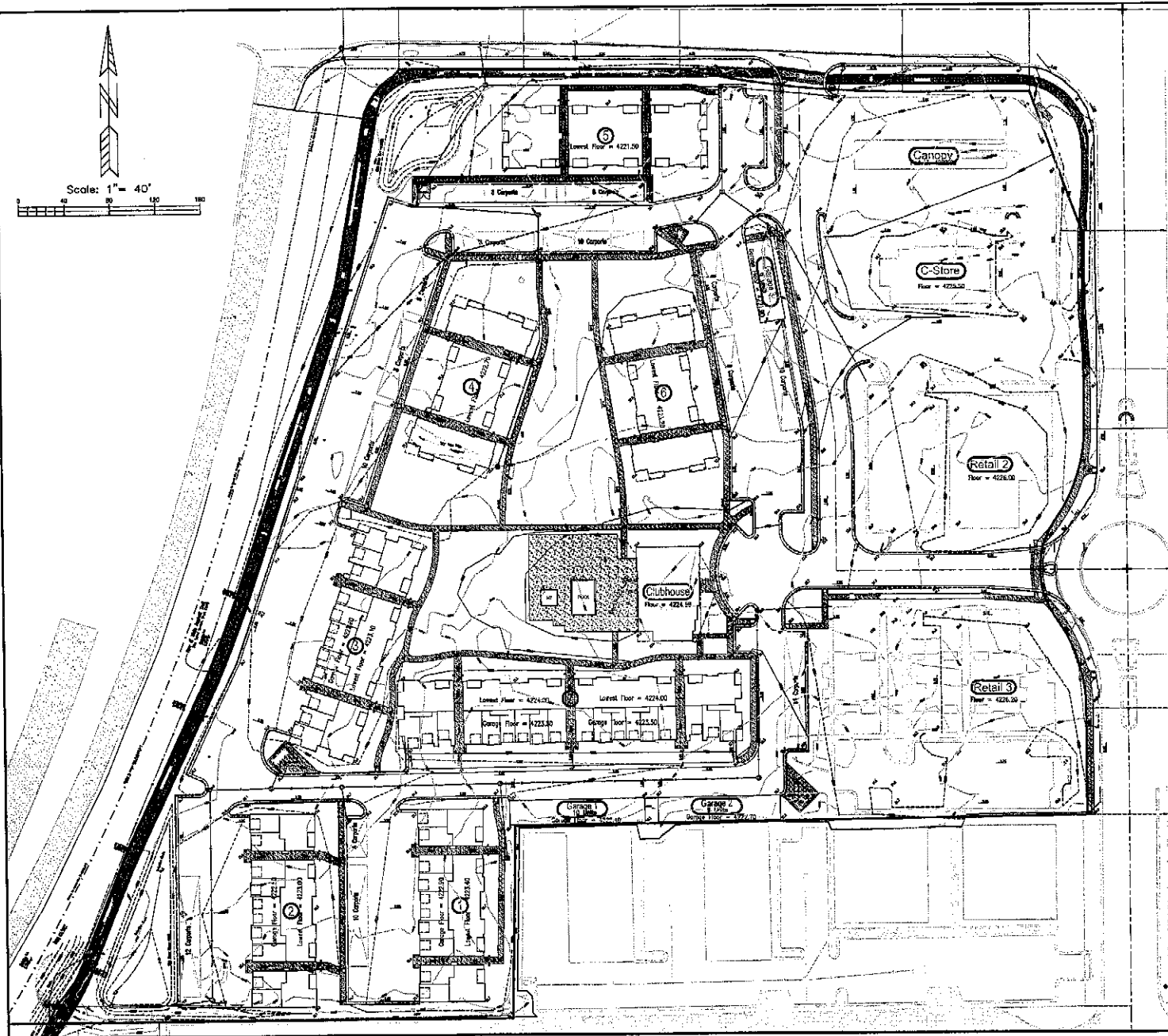
Civil Engineering * Planning
Surveying * Planning
Phone: (801) 285-7237
Fax: (801) 285-0419
Email: bob@belling.com

Revisions

Surveyor	D.A. Belling	By
Date Surveyed	12-20-13	DA
Drafted By	J.S. Belling	
Checked By	A.E. Belling	
Submittal Date	02-24-14	
File Number		

C103

Sheet 4 of 18



All Earthwork, Excavation, Import Material, Placement, and Compaction shall conform to the recommendations as specified in the Geotechnical Investigation by AGECE Applied GeoTech as specified in Project No. 1140193, Dated April 2, 2014 and all supplemental Reports. AGECE shall provide all ongoing inspection and direction of all importing and earthwork.

Existing Contour Line ————— 5777

Finish Contour Line ————— 4772

Storm Drain ————— ● —————

Drainage Swale —————

Boundary Line —————

Drainage Direction ————— 1.5%

High Point or Low Point H.P. or L.P.

Finish Spot Elevation 453.2

Type A Curb and Gutter
(See Detail, Sheet CSD1)

Open Pave Curb

Concrete Surface

Balling Engineering

Phone: (801) 295-7237
Fax: (801) 299-0419
Email: scott@bellinqing.com

Revisions					
	Date	Description	By		
Surveyor:	D.W. Peltz				
Data Surveyed:	12-30-13				
Drafting:	J. S. Peltz				
Checked By:	J. S. Peltz				
Submitted Date:	03-21-15				
File Number:					

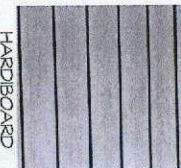
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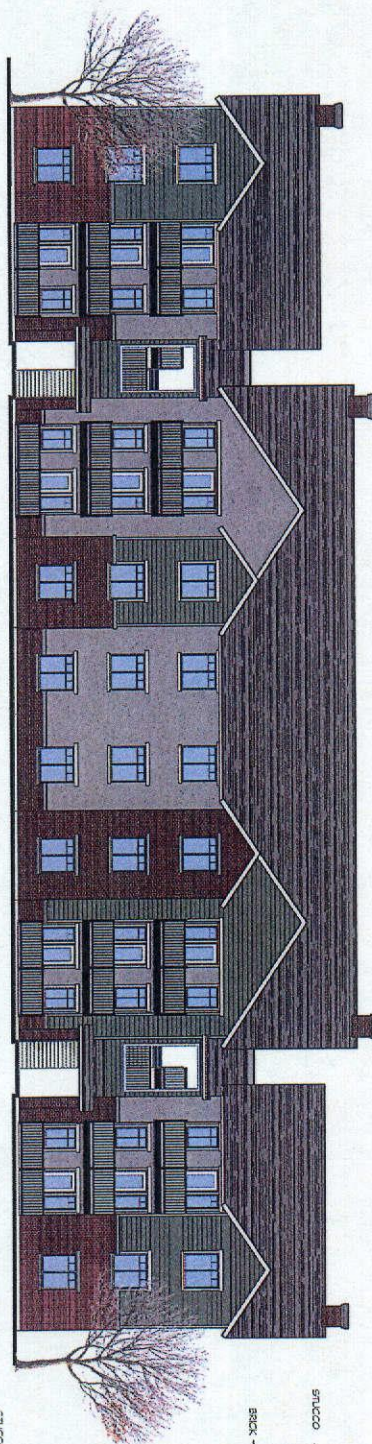
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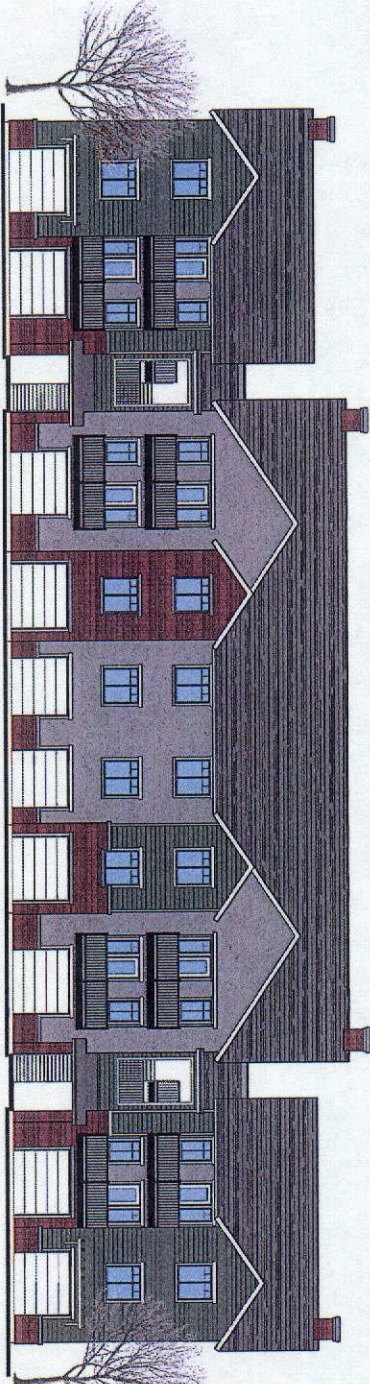
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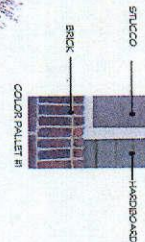
HARDBOARD



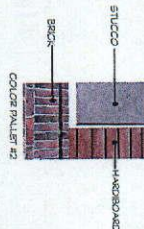
1 BUILDING C FRONT ELEVATION
SCALE: 1/8" = 1'-0"



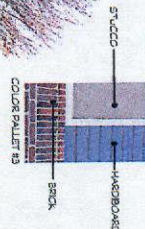
2 BUILDING C BACK ELEVATION
SCALE: 1/8" = 1'-0"



COLOR PALETTE #1



COLOR PALETTE #2



COLOR PALETTE #3

Legacy Trail Apartments
1250 W Parrish Ln.
Centerville, Utah



Architecture Belgique, Inc.
commercial & residential
Phone: 801-551-0000 Fax: 801-551-0001
Email: gillman@architecturebelgique.com

Sheet Title
Building C
Elevations

Date
March 20, 2014

Sheet Number
A-201

NOT FOR CONSTRUCTION

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF ARCHITECTURE BELGIQUE, INC. AND ARE NOT TO BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF ARCHITECTURE BELGIQUE, INC.

LANDSCAPE SCHEDULE

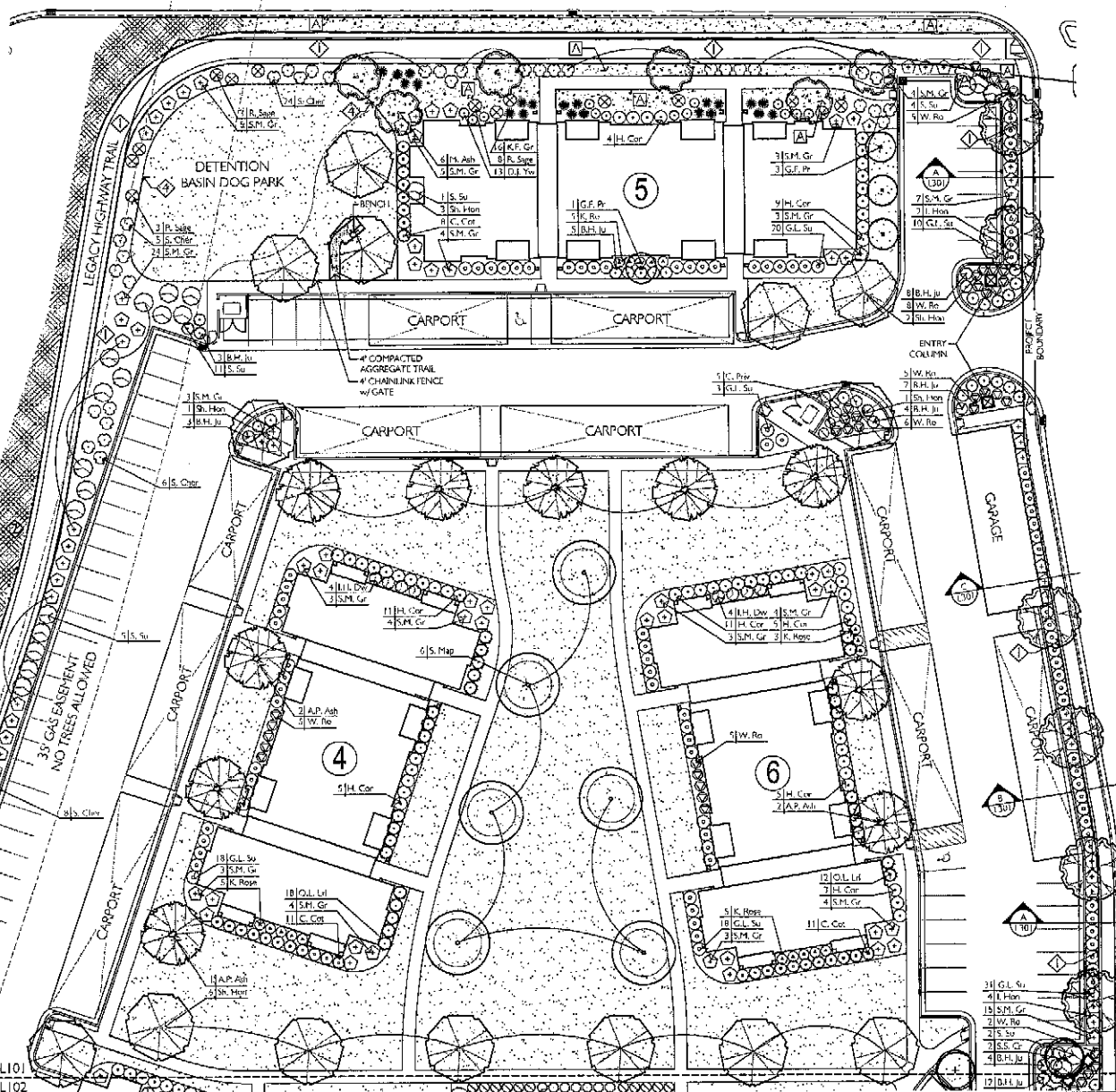
Spec	Symbol	Trade Name	Common Name	Qty	Spec
TREES					
S. Map	20	Acacia reticulata 'Serrata'	Serrata Maple	2' Gal.	Varies
A.P. Ash	20	Fraxinus americana 'Autumn Blaze'	Autumn Blaze Ash	2' Gal.	Varies
B. Ash	9	Fraxinus mandshurica 'Imperial'	Imperial Honeylocust	2' Gal.	Varies
L. Hon	6	Gleditsia leucantha 'Imperial'	Imperial Honeylocust	2' Gal.	Varies
B-L Hon	14	Gleditsia leucantha 'Shademaster'	Shademaster Honeylocust	2' Gal.	Varies
S.S. Cr	7	Malus 'Spring Snow'	Spring Snow Crabapple	2' Gal.	Varies
G.F. Pr	14	Pyrus calleryana 'Chenadoe'	Chenadoe Form Pear	2' Gal.	Varies
SHRUBS					
L.H. Dw	23	Cornus alba 'Saskia'	Ivory Hall Dogwood	2' Gal.	2' Gal.
C. Cor	45	Cornus rugosa 'Saskia'	Cornus Rugosa	2' Gal.	2' Gal.
P.H. Jun	123	Juniperus horizontalis 'Blue Harbor'	Blue Harbor Juniper	2' Gal.	4' Gal.
C. Priv	23	Ligustrum vulgare 'Chapel'	Chapel Privet	2' Gal.	5' Gal.
A. Sage	19	Phoradendron arbutifolium	Russian Sage	1' Gal.	5' Gal.
S. Cher	63	Prunus serrulata 'Pavane Duet'	Pavane Butler Sand Cherry	2' Gal.	5' Gal.
O.L. Lil	50	Prunus laurocerasus 'Olan Lytle'	Olan Lytle Laurel	2' Gal.	5' Gal.
G.L. Su	100	Pinus strobus 'Grow Low'	Grow Low Spruce	2' Gal.	5' Gal.
S. Su	61	Pinus glabra	Smooth Spruce	2' Gal.	7' Gal.
K. Rose	31	Rosa 'Knock Out'	Knock Out Rose	2' Gal.	4' Gal.
W. No	48	Rosa multiflora 'White'	White Multiflora Rose	2' Gal.	4' Gal.
A.W. Sp	17	Spiraea japonica 'Avalanche Waterer'	Avalanche Waterer	2' Gal.	4' Gal.
H. Cor	123	Symphoricarpos x chenaultii 'Hancock'	Hancock Coralberry	2' Gal.	4' Gal.
B.L. Yw	80	Taxus cuspidata 'Densiformis'	Dense Japanese Yew	2' Gal.	4' Gal.
ORNAMENTAL GRASSES					
K.F. Gr	87	Calamagrostis x acutifolia 'Yal Foerster'	Karl Foerster Feather Grass	1' Gal.	4' Gal.
S.H. Gr	159	Miscanthus sinensis 'Shenoy'	Slender Maiden Grass	1' Gal.	4' Gal.
TURF					
84,359 S.F.		Quarantone Imperial Blue			Soil
TRAIL GR					
28,903 S.F.		Decorative Gravel Mulch - 1" Crushed - All Plants Unless Noted Otherwise			3" Depth
5,928 S.F.		Natural Gravel - 3/4" w/ Decorative Gravel Mulch, 1" Crushed			
VEGETATION					
70,643 S.F.		Non-Invasive Dry-Land Grass Revegetation Mix - See Mix Schedule 56.1103			Seed
SITE REF NOTES					
2' Rail Vinyl Fence - See Sheet L301 for Detail					
4' Solid Fence - See Sheet L301 for Detail					
4' Chainlink Fence					

SITE TABULATIONS

OVERALL SITE AREA	366,723 S.F.
LANDSCAPE AREA	134,394 S.F. = 36.6%
TREES PROVIDED	90 TREES - 1 TREES / 1,473 S.F.

NOTE: DO NOT LOCATE TREES WITHIN 25' OF LIGHT POLES ALONG TRAIL CORRIDOR

PARISH LANE



STB
DESIGN

LANDSCAPE ARCHITECTURE
& LAND PLANNING
THE CLIFT BUILDING
10 WEST BROADWAY
SUITE 410
MILWAUKEE, WI 53204
TEL: 414.224.1111
WWW.STBDESIGN.COM



DATE: 01.13.2015

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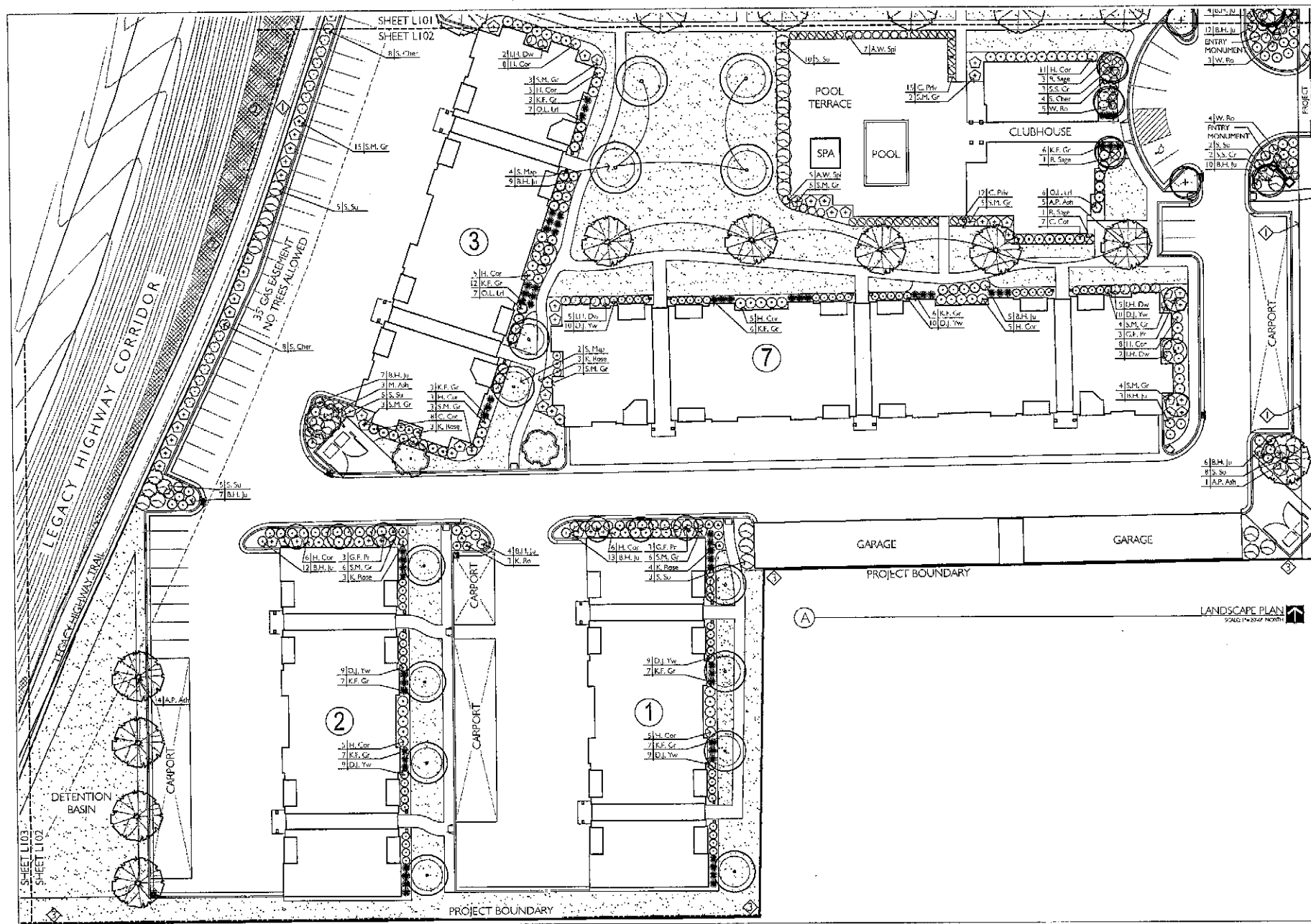
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PART I - GENERAL.

1.1 SUMMARY

- A. This section includes landscape procedures for the Project including all labor, materials, and installation necessary, but not limited to, the following:
- | | |
|----------------------------------|------------------|
| 1. Topsoil and Soil Amendments | 2. Fine Grading |
| 3. Cultivation | 3. Turf Planting |
| 4. Furnish and Installing Plants | 4. Seeding |
| 5. Maintenance | 5. Mowing |
| 6. Watering | |

1.2 SITE CONDITIONS

- [illegible]

1.3 PLANT DELIVERY, QUALITY, AND AVAILABILITY

- A. All plans prepared for this project are to be logged by the superior nursery with the identification labels, consistent with the specified plant names and project drawing identifiers. If drawing plant identifiers are not used, the following information must be provided:
- 1. Identify trees and shrubs after preparation for planting have been completed and plant immediately. If planting is delayed more than six (6) hours after delivery, set roots and shrubs in shade, protect from weather and mechanical damage, and keep roots moist by covering with mulch, burlap or other acceptable material.
 - 2. All plant materials are to be inspected by the Project Manager at the time of delivery or site. Acceptance or non-acceptance of any specimen of any plant material. All plant materials will be inspected upon arrival at final destination and once again if any plant material is damaged. Any plant found to be unacceptable will be removed from the site and replaced with a similar specimen and replaced.
 - 3. Unacceptable substitutions will not be accepted. If present is observed that specific plants or plant sizes are not available, the contractor must submit a written request for an acceptable substitute plant or plant size to the owner. Written requests for substitutions must be written and preferably before the bid date.

1.4 GUARANTEE

- A. **Guarantee:** A guarantee period of one year shall begin from end of maintenance period and final acceptance for trees, shrubs and ground covers. All plants shall grow and be healthy for the guarantee period and trees shall live and grow in acceptable upright position. Any plant not alive, in poor health, or in poor condition at the end of the guarantee period will be replaced immediately. All reduced plants shall be guaranteed and maintained according to the specifications for another one year. Any outside factors, such as vandalism or lack of maintenance on the part of the Owner, shall not be considered in this guarantee.

PART II - PRODUCTS

2.1 LANDSCAPE MATERIALS

- [illegible]

2.2 SOIL AMENDMENTS

- A. Commercial Fertilizer: Complete fertilizer of neutral character, with some elements derived from organic sources, CH₂NH₂CO, type 1 grade (16-16-16), used with guaranteed analysis marked on the container. Provide nitrogen in a form that will be available to lawn during initial period of growth at least fifty (50) percent of nitrogen be in organic form. Adjustment of fertilizer rate to meet recommended analysis gives total analysis.
- B. Note: Root tips, sedge panes, moss peas (fine threads only), root mass or sedge mass all comply with the above class B contents.
- C. Topsoil: Amend the top soil as necessary to meet requirements for topsoil under Section 2.1.2.1.
- D. Miscellaneous: EPA registered and approved, of type recommended by manufacturer.

PART III - EXECUTION

- 2.1 GRADING
- A. **Examine Site:** Prior to the installation of any layout, the Contractor shall inspect the existing site conditions to the plans and specifications. Any discrepancies shall be brought to the attention of the Architect prior to preparation of the final layout.
- B. **Sub-grade:** When contract operations have been completed to a point where the areas will not be disturbed, the Contractor shall clean the sub-grade so as to be free of waste material of all kinds. It shall and pulverize the sub-grade to a depth of not less than four inches. Satisfaction shall be completed before the Contractor is to receive final materials whether it is to be rock, brick, gravel, concrete, or others.
- C. **Grading:** Grade planning shall be directed by Project Manager and according to the grading plan. The existing rough grade prior to starting works. If rough grade will not allow the required topsoil depth for the grading, contact Owner or their representative.
- D. **Compaction:** Compaction under hard surface areas (pavement, walls and concrete surfaces) shall be 95% percent. Compaction under planting areas shall be between 90% and 95% percent and 90% percent.

3.7 SOIL PREPARATION

- [illegible]

3.1 SOD GRADING

- H. The finish grade of the topsoil adjacent to all sidewalks, mow-strips, etc. prior to the laying of sod, shall be at least 1/2" above the finished grade of the adjacent paved surface. All

3.4 PLANTING OPERATIONS

- [illegible]

7.5 SOLDLAYING

- [illegible]

3.6 SLOINK

- A. Seed Mix: Sow seed at a rate of 100 lbs per acre and mix of application.
 Spreading Windows:
 1. September 15 - December 1
 Windows ending with the following year if the ending is not completed within the given window.
 Mulch (wood straw): Wood Straw Mulch shall be a wood material which has been screened, chipped, and disintegrated into small fibers. The mulch shall have been previously processed so that it will have no germination and so that it forms a biodegradable ground cover. The material shall be air dry and contain no more than 15% moisture.
 Application: The application of the mulch shall be the specified mixture incorporated with soil during the seed application or tilled into the topsoil with other amendments. Applying one percent of nitrogen and one thousand pounds of mulch per acre, will produce optimum mulch and seed application. The following are the recommended guidelines for mulch application:
 One Crop (Wood Straw): Combine seed material in the seedbed at 1000 square feet of seedbed with 1000 lbs of mulch at a rate of 1000 lbs per acre and mix well together. Apply the mulch to the seedbed, spreading of these materials into a well mixed slurry suspension, and spring the mixture under pressure into the prepared seed bed.

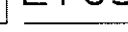
END OF SECTION



DRY-LAND GRASS REVEGETATION SEED SCHEDULE

Name	Variety	Scientific Name	Root lbs.	Root %	PSY lbs.	PSY %	PSI score
Whitegrass, Crested	Edenrae	<i>Achillea millefolium</i>	4.59	22.05%	4.59	22.05%	4
Whitegrass, Streambank	Solar	<i>Lanceolus sp. lanceolatus</i>	4.59	77.03%	4.59	27.03%	4
Fescue, Sheep	VNS	<i>Lolium virens var. ovina</i>	1.15	6.76%	1.15	6.76%	1
Low Fescue	Appar	<i>Lolium lewisii</i>	1.15	6.76%	1.15	6.76%	1
Bluegrass, Kentucky	Wharton	<i>Poa annua</i>	2.30	13.51%	2.30	13.51%	2
Bluegrass, Sandberg	Sec	<i>Poa secunda</i>	0.57	3.18%	0.57	3.18%	0.5
Whitegrass, Snake River	Secar	<i>Elymus walteri</i>	2.30	13.51%	2.30	13.51%	2
Alkali salsola	VNS	<i>Sarcocolla albidus</i>	0.34	2.09%	0.34	2.09%	0.3
			20.79	100%	20.79	100%	

BOOK TO READ



IRRIGATION SCHEDULE

SYM. MODEL	P.S.I.	G.P.M. (at 100')	RADIUS
1 Rainbird 1804-PRS w/ 1/2 Series MPR (15PCS, 15CS, 15ST)	30	1.21	4 x 15
2 Rainbird 1804-PRS w/ 5 Series MPR (10Q-10T, 10VAN)	30	0.70	5.0
3 Rainbird 1804-PRS w/ 8 Series MPR (10Q-10T, 10VAN)	30	0.52	8.0
4 Rainbird 1804-PRS w/ 10 Series MPR (10Q-10T, 10VAN)	30	0.79	10.0
5 Rainbird 1804-PRS w/ 12 Series MPR (12Q-12T, 12VAN)	30	1.30	12.0
6 Rainbird 1804-PRS w/ 15 Series MPR (15Q-15T, 15VAN)	30	1.85	15.0
7 Rainbird 1804-PRS-18 VAN Spray Head	30	2.66	18.0
8 Rainbird 3504-PC-SAM 1.0 Nozzle	45	1.06	21.0
9 Rainbird 3504-PC-SAM 2.0 Nozzle	45	1.93	27.0
10 Rainbird 3504-PC-SAM 3.0 Nozzle	45	4.13	35.0

11 In-line Drip Line - Rainbird XPD-09-House

12 Automatic Control Valve - Rainbird PEB - See Plan for Sizes

13 Drip Control Zone - Rainbird XCZ-100-PRC-CPM

14 Isolation Gate Valve - 1 1/2"

15 Quick Coupling Valve Assembly

16 Controller - Rainbird ESP-2016

17 Backflow Preventer - 1 1/2" - See Schedules C103 and C101

18 Stop and Waste - 1 1/2"

19 Lateral Pipe - Schedule 40 PVC

20 1 1/2" Sch 40 PVC Mainline

21 Irrigation Scheduling (See Plan)

22 A-01 Valve #
2.67 GPM
1" Valve Size

IRRIGATION LATERAL PIPE SIZING SCHEDULE

Distance - valve to end of lateral	0 - 160 FT.	160 - 200 FT.	200 - 250 FT.	250 - 300 FT.	300 - 350 FT.
3/4" SCH 40 PVC PIPE	0 - 8 GPM	0 - 5 GPM	0 - 4 GPM	0 - 4 GPM	0 - 3 GPM
1" SCH 40 PVC PIPE	8 - 12 GPM	5 - 10 GPM	4 - 9 GPM	4 - 8 GPM	3 - 7 GPM
1 1/4" SCH 40 PVC PIPE	12 - 22 GPM	10 - 18 GPM	9 - 16 GPM	8 - 14 GPM	7 - 14 GPM
1 1/2" SCH 40 PVC PIPE	22 - 30 GPM	22 - 30 GPM	18 - 26 GPM	16 - 24 GPM	14 - 22 GPM
2" SCH 40 PVC PIPE	30 - 30 GPM	30 - 30 GPM	25 - 30 GPM	24 - 45 GPM	22 - 40 GPM

IRRIGATION PLAN
SCALE: 1" = 40' NORTH

SHEET L201
SHEET L202

PARISH LANE

STB
DESIGN

LANDSCAPE ARCHITECTURE
& LAND PLANNING

THE CLIFF BUILDING
10 WEST BROADWAY
SUITE 400
SALT LAKE CITY, UTAH 84119
PH: 801.554.5146
SCOTT@STBDIGITAL.COM



DATE
01.15.2024

DATE

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LEGACY TRAIL
PARISH LANE AND LEGACY HIGHWAY
CENTREVILLE, UTAH

FINAL
PLAN

IRRIGATION
PLAN

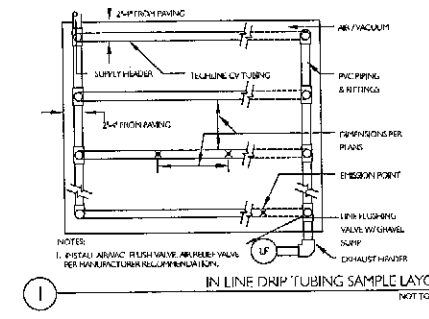
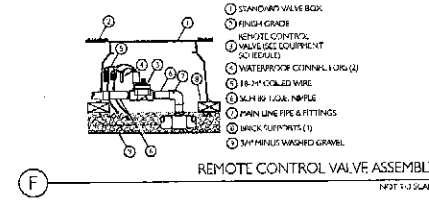
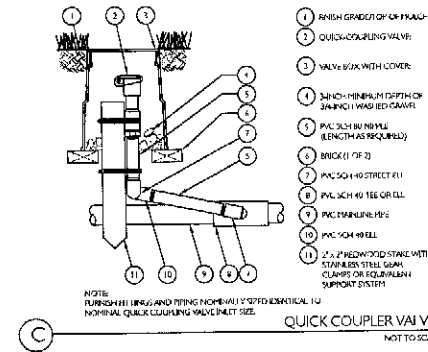
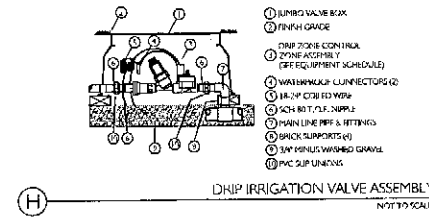
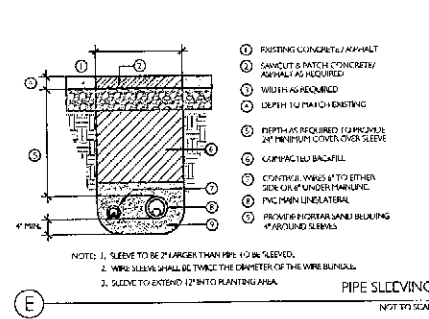
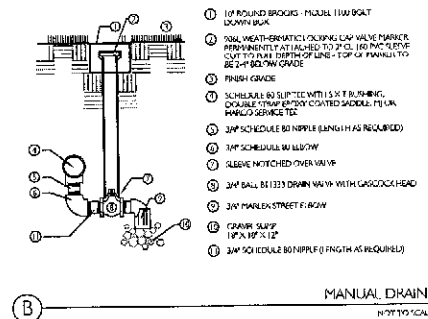
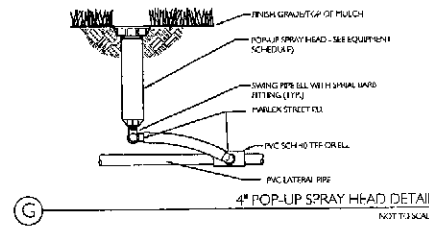
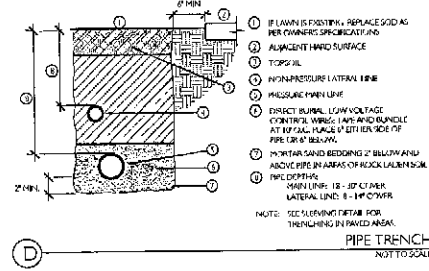
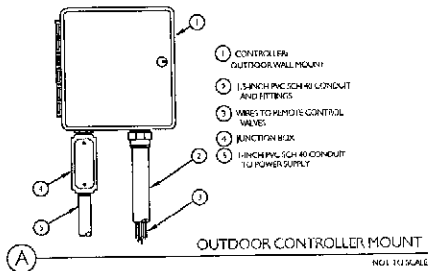
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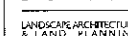


FIGURE DESCRIPTION DATE
01/15/2015

FIGURE DESCRIPTION DATE

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THE CLIFT BUILDING
10 WEST BROADWAY
SUITE 400
SALT LAKE CITY, UTAH 84101
PH(801)594-8100
VCD11@NILES-NILCO.COM



ISSUE DESCRIPTION	DATE
	01.15.20

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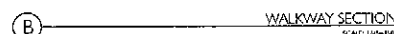
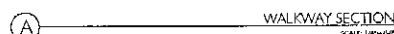
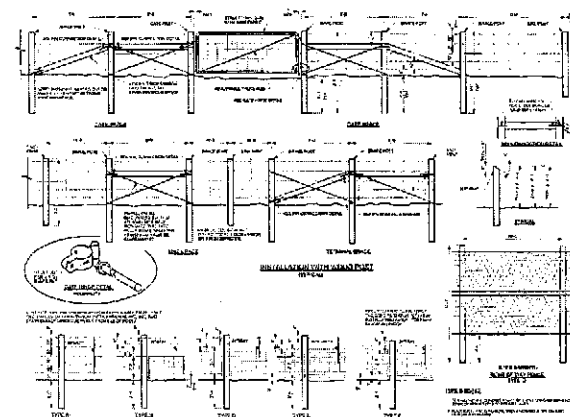
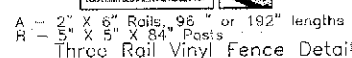
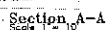
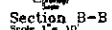
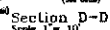
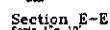
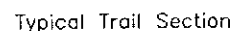
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LEGACY TRAIL
PARISH LANE AND LEGACY HIGHWAY
CENTERVILLE, UTAH

FINAL
PLAN

TRAIL SECTIONS

L301



**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 4**

APPLICANT: MAVERIK, INC.
C/O DON LILLYQUIST
880 WEST CENTER STREET
NORTH SALT LAKE CITY, UT 84054
don.lilyquist@maverik.com

OWNERS: FRED HALE / CHAD SALMON
C/O H&S LLC
1778 WEST 1180 SOUTH
WOODS CROSS, UTAH 84087
chad@salmonelectric.com
fredh@colonialbuilding.com

PROPERTY: SOUTHWEST CORNER OF PARRISH LANE & 1250 WEST

ACREAGE: 1.29 ACRES

ZONING: COMMERCIAL-VERY HIGH/PLANNED DEVELOPMENT
(C-VH/PD)

APPLICATION: FINAL SITE PLAN, PHASE/LOT ONE (1), LEGACY TRAIL
APARTMENTS PROJECT

RECOMMENDATION: ACCEPT THE CONCEPTUAL SITE PLAN WITH
DIRECTIVES

BACKGROUND

The applicants desire to construct a convenience store with gas service at the site. Maverik intends to construct a 5,000 sq. ft. store with an additional 160 sq. ft. of cooler space. In addition, a fueling area with a canopy would be constructed housing five (5) fuel pumps for customers. It is anticipated that construction would take about 130 days with an estimated beginning of September 2015 and opening in January 2016. Additionally, the uses proposed (*i.e. convenience store and fuel sales*) are conditional uses in the C-VH/PD Zone.

PREVIOUS PLANNED DEVELOPMENT OVERLAY REZONE/CONCEPTUAL PLAN ACCEPTANCE SUMMARIZED

Staff has reviewed the conditions of associated accepted PDO Conceptual Site Plan (*see-attachment, Ordinance No. 2014-06*). The following summarizes the expectations for developing within the project area:

- PDO/Conceptual Site Plan – depicts four (4) development phases; three (3) commercial use phases and one (1) multi-family use phase. The convenience store and fuel sales are depicted in Phase 1/Lot 1 of the Legacy Trails Development.
- Architectural Concepts – Depicts a “village-style” design with enhancements such as, dormers, gables, garages, balconies, and other elements like elements.
- Architectural Colors & Materials – All development must be consistent with the submitted “village style” design or compatible with the Legacy Crossing at Parrish Lane project, or the Shorelands Commerce Park District.
- Parrish Lane Design Guidelines – All development is subject to these guidelines of the Zoning Ordinance,
- Other General Applicable Ordinances – All is development is subject to the other applicable Zoning regulations, such as Landscaping & Buffering, Parking, Lighting, Signing, etc.
- Substantial Compliance with Accepted PDO Concept Plan – All development must substantially comply with the associated accepted PDO Concept Plan.

CONCEPTUAL SITE PLAN REVIEW & PLANNING STAFF ANALYSIS

ASSUMPTION OF DEVELOPMENT PHASE APPROVAL/LIMITED TO PHASE 1 REVIEW

The PDO Rezone/Conceptual Plan Acceptance anticipated as four (4) phase development build-out of the entire development project. With the assumed approval of the final site plan for Legacy Trail Apartments that allowed the entire development to be phased, Phase 1 would then be subject to a separate site plan approval for its phase. Staff has focused the rest of this report on Phase 1, the convenience store and fuel sales use of the project (*aka: Lot 1 of the subdivision approval*).

ARCHITECTURAL CONCEPTS

The submitted plans depict buildings with pitched roofs, segmented elevations, with gables, balconies, and stairwell breezeways (*see attachments*).

Staff Comment: Submitted plans appear to have a flat-style roof with articulated heavy timber façade elements. Although it may have some visual relief and appeal, it appears that the **proposed design of the building does not meet the “village style” expectation.** Thus, the applicant will need to correct the design or apply for an amendment to the PDO’s original approval.

ARCHITECTURAL COLORS & MATERIALS

The submitted plans depict the use of brick, cement fiberboard, and heavy timber elements. Colors are muted and overall and consist of green, red, and yellow hues (*see attachments*).

Staff Comment: Submitted plans **generally appear to comply** with PDO expectations.

PARRISH LANE GATEWAY DESIGN CHAPTER 12-63

The General Plan has established Parrish Lane as the “dominant commercial center of Centerville” [Section 12-430-2(3)]. In order to enhance the economic and aesthetic value of the community, the Parrish Lane Gateway Standards have been established. These design standards were reviewed in detail during the conceptual plan acceptance phase. As staff stated earlier, the decorative lighting expectations are part of the standards. Overall, staff believes that these standards have been addressed in the final site plan submittal. Some of the final design highlights to describe are as follows:

- ✚ **Architecture & Development Theme** – As stated earlier, the buildings consist of a “heavy timber style” theme with colors compatible with the PDO expectations. The main building is articulated with varying canopies and two entrances. The main building appears to meet the articulation and feature requirements. Buildings are accessible through use of master planned sidewalk system connected to the public right-of-way and a local trail system. Public space (*i.e. patrons*) consists of outdoor seating area on the east elevation of the main building.

Staff Comment: Overall staff believes that the architecture and theme meets the guidelines. However, the fuel canopy has a prominent visual presence to the major intersection. Staff believes that some of the main buildings design elements need to be reflected in the fuel canopy design.

- ✚ **Screening of Utility and Mechanical Equipment & Lighting** –

Staff Comment: The submitted plans indicate a “housekeeping” area screened with chain link. The guidelines require screening to be compatible with the main building materials. Additionally, dumpster areas and mechanical equipment needs to be screened from public view with materials compatible with the main building. Lighting fixtures are to compliment the architectural theme of the “village style” design.

- ✚ **Landscaping and Features** – The submitted plans address the layout and use of landscaping plants and materials. Most of the landscaping appears to be off-site along 1250 West and Parrish Lane. The remaining landscaping is located in the parking lot islands and the outdoor plaza.

Staff Comment: The Ordinances and guidelines require 10% on-site landscaping. Additionally, the PDO Rezone/Conceptual Plan approval requires the use of a Legacy Trail Development site feature at the corner of 1250 West and Parrish Lane. The plans will need to be amended to reflect these requirements.

- ✚ **Off-Street Parking & Lighting** – The parking areas must have 5% interior landscaping and all parking must be within 150 feet of a sidewalk system leading to the buildings. The site must be integrated with adjacent sites and provide cross-access circulation lanes. Site lighting should be attractive and provide pedestrians with the sense of security.

Staff Comment: The PDO Rezone/ Conceptual Plan approval created and integrated development that meets the expectations of the guidelines. From review of the submitted plans, it appears the site may meet the 5% interior parking lot

landscaping. Parking layout appears to meet Ordinance requirements. However, the plans do not address the use of lighting.

- ✚ **Streetscape Standards** – The streetscape landscaping standards along Parrish Lane were modified with the PDO Rezone/Conceptual Plan approval. A trail spur connection is being provided from 1250 West to the Legacy Trail system. This area along with the front yard area landscaping now compromises the trailside landscaping theme. Additionally, the same landscaping theme street trees and pedestrian lights are noted on the landscaping plan.

Staff Comment: The submitted plans appear to be consistent with the PDO Rezone/Conceptual Plan approval. However, the use of materials may need to be adjusted to match the trailside design further west. In addition, the plans do not address the required lighting along the public pathways. Lastly, all pedestrian crossing of vehicular lanes need to meet the approved stamped design of the Parrish Lane Gateway Area.

OTHER GENERAL APPLICABLE ORDINANCES

✚ **General Landscaping Standards:**

Commercial Projects – Must provide at least one (1) tree for every 500 feet of required landscaping. In addition, up to 25% of the required trees may be substituted for shrubs (rate 10 shrubs for every tree).

Staff Comment: A rough calculation indicates that the site must have at least 11 trees. The submitted landscape plan depicts 11 trees total.

Street Front Landscaping – Along Parrish Lane there must be at minimum of 30 feet from back of curb, while along 1250 West, there must be a minimum of 15 feet from back of curb. All buildings fronting a public street must have foundation landscaping. One street tree must be provided for every 25 linear feet of street frontage.

Staff Comment: The submitted plans depict only a 25-foot landscaping depth along Parrish Lane, while the plans comply with the required 15 foot depth along 1250 West. In addition, the landscaping plans do not provide the required foundation plantings. Lastly, the plans only provide six (6) of the required 17-18 street trees.

Internal Parking Lot Landscaping – One tree and two (2) shrubs must be provided for every 25 sq. ft. of required internal parking landscaping (5% is required).

Staff Comment: Although the landscaping plans depict the use of landscaping materials, the submitted plans do not address this requirement.

Plant Material Standards – The Ordinance regulates quality, spacing, and minimum planting sizes.

Staff Comment: As required by Ordinance, the landscaping plan is to be prepared by a licensed landscape architect. The submitted plans do not address the quality, spacing, and minimum planting sizes.

General Parking Standards:

Parking Location & Design – Must provide all required stalls on-site unless an off-site approval is granted by the Planning Commission. Additionally, access to parking lot areas must be provided by a common drive access from the public street.

Staff Comment: The submitted plans appear to provide the required on-site parking and access requirements. Additionally, the plans need to address the compliance with applicable ADA Regulations.

Number/Type/Dimension of Parking Spaces – The convenience store requires one (1) stall per 200 sq. ft. of building space. Parking stalls size must be at least; 9'x18'.

Staff Comment: The submitted plans appear to provide the required amount; 5,160 sq. ft. equals 26 parking spaces, plans depict about 40 parking spaces. The plans appear to meet minimum size for parking stalls.

Other Applicable Regulatory Standards:

Building Heights & Setbacks – Maximum building height is 45 feet and buildings must be setback 20 feet from Parrish Lane and 6 feet between all buildings.

Staff Comment: The submitted plans appear to comply with these standards.

Outdoor Lighting – Lighting is to be directed downward and not to allow glare to exceed a 90-degree horizontal plane (see also Parrish Lane Design Guidelines).

Staff Comment: A Lighting Plan was not provided.

Fences and Walls – Fences and walls may not exceed six (6) feet in height (without approval from the Commission) or four (4) feet in any front yard.

Staff Comment: The PDO Rezone/Conceptual Plan approval included a fencing plan for the entire development. The plans do not appear to address this requirement.

SUBSTANTIAL COMPLIANCE WITH ACCEPTED PDO CONCEPT PLAN

From staff's review of the PDO Rezone/Conceptual Plan, the submitted architectural theme is inconsistent with the overlay's expectation. Otherwise, the development with several changes could be able to meet the overlay approval expectations.

PLANNING STAFF RECOMMENDATION

CONCEPTUAL SITE PLAN – Staff Suggested Motion:

PROPOSED ACTION: I hereby make a motion for the Planning Commission to accept the conceptual site plan for the Maverik Convenience Store to be located at the southwest corner of 1250 West and Parrish Lane, with the following directives:

1. The uses of the site consisting of a convenience store and fuel sales require a conditional use permit approval in conjunction with any site plan review and approval.
2. The architectural theme must be changed to meet the PDO Rezone/Conceptual Plan's "village style" expectations or secure an amendment to change the theme to allow for a "heavy timber" theme element for commercial development within the project.
3. A final site plan submittal must be submitted to address the Ordinances and Overlay Zone Requirements and also address the following:
 - i. *The final the main buildings architectural design elements need to be reflected in the fuel canopy design*
 - ii. *The "housekeeping" area screened with materials that are compatible with the main building materials*
 - iii. *The dumpster area and mechanical equipment needs to be screened from public view with materials compatible with the main building*
 - iv. *Lighting fixtures are to compliment the architectural theme of the "village style" design, or as amended*
 - v. *Address the required lighting along the public pathways*
 - vi. *All pedestrian crossing of vehicular lanes need to meet the approved stamped design of the Parrish Lane Gateway Area*
 - vii. *Address the compliance with applicable ADA Regulations concerning parking and building access*
 - viii. *Prepare and submit a lighting plan. All lighting is to be directed downward and not to allow glare to exceed a 90-degree horizontal plane (see Parrish Lane Design Guidelines)*
 - ix. *Address the PDO Rezone/Conceptual Plan approval fencing plan expectations*
4. The Landscaping Plan must be revised, as follows:
 - i. *Plan to be prepared by a licensed landscape architect*
 - ii. *Meet the required 10% on-site landscaping*
 - iii. *Meet the PDO Rezone/Conceptual Plan approval requiring the use of a Legacy Trail Development site feature at the corner of 1250 West and Parrish Lane*
 - iv. *Use of materials may need to be adjusted to match the trailside design further west*
 - v. *Provide the 30-foot landscaping depth along Parrish Lane*
 - vi. *Provide the required 50% foundation plantings along the front of the main building*
 - vii. *Provide the required 17-18 street trees*
 - viii. *Provide one tree and two (2) shrubs for every 25 sq. ft. of required internal parking landscaping (5% is required)*
 - ix. *Address the quality, spacing, and minimum planting sizes*

SUGGESTED REASONS FOR THE ACTION:

- a. The Planning Commission finds that the conceptual site plan, with the directives listed; depict how the property could be developed in accordance with City Ordinances.
- b. The Planning Commission finds that, with the directives listed, the conceptual site plan could substantially comply with the associated PDO Rezone/Conceptual Plan approval.

ORDINANCE NO. 2014-06

AN ORDINANCE AMENDING THE CENTERVILLE CITY ZONING MAP BY CHANGING THE ZONING OF APPROXIMATELY 12.15 ACRES OF CERTAIN REAL PROPERTY AS DESCRIBED HEREIN FROM COMMERCIAL VERY HIGH (C-VH) TO COMMERCIAL VERY HIGH/PLANNED DEVELOPMENT (C-VH/PD) AND ACCEPTING CONCEPTUAL PLAN FOR THE LEGACY TRAIL APARTMENTS PLANNED DEVELOPMENT.

WHEREAS, the City is authorized to enact a zoning map consistent with the purposes set forth in the Utah Land Use Development and Management Act, as more particularly provided in *Utah Code Ann.* §§ 10-9a-101, *et seq.*, as amended, and the City is further authorized to make amendments to such zoning map in accordance with procedures set forth in *Utah Code Ann.* § 10-9a-503, as amended; and

WHEREAS, in accordance with applicable provisions of Utah law and the goals of the Centerville City General Plan for the subject property as set forth in Section 12-480-6, West Centerville Neighborhood Plan, the City Council desires to amend the Centerville City Zoning Map to rezone the subject property from Commercial Very High (C-VH) to Commercial Very High/Planned Development (C-VH/PD) as more particularly provided herein; and

WHEREAS, as part of the Planned Development Overlay (PDO) Zone requirements, requests for PDO zoning shall include a conceptual plan for review and acceptance by the City concurrent with the rezoning decision; and

WHEREAS, the proposed amendments to the Centerville City Zoning Map as set forth herein have been reviewed by the Planning Commission and the City Council and all appropriate public noticing and hearings have been provided and held in accordance with Utah law to obtain public input regarding the proposed revisions to the City Zoning Map and acceptance of the Conceptual Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF CENTERVILLE CITY, STATE OF UTAH, AS FOLLOWS:

Section 1. Zone Map Amendment. Subject to conditions of approval set forth in Section 3, the real property located at approximately 1250 West and Parrish Lane in West Centerville consisting of approximately 12.15 acres as more particularly described in the legal descriptions set forth in **Exhibit A**, attached hereto and incorporated herein by this reference, is hereby rezoned and changed from Commercial Very High (C-VH) to Commercial Very High/Planned Development (C-VH/PD) and the Centerville City Zoning Map is correspondingly amended as described herein.

Section 2. Conceptual Plan Acceptance. Subject to conditions of approval set forth in Section 3, the Conceptual Plan for the Legacy Trail Apartments Planned Development, as more particularly described in **Exhibit B**, attached hereto and incorporated herein by this reference, is hereby accepted by the City Council.

Section 3. Conditions of Approval. Rezone approval and acceptance of the Conceptual Plan for the Legacy Trail Apartments Planned Development is subject to the following conditions of approval:

1. The Legacy Trail Apartments Development Approved Conceptual Plan shall consist of the following, as submitted to the City:
 - a. Architectural Site Plan – a colorized plan depicting the development layout, including the concept commercial and residential design concepts.
 - b. Architectural Site Plan – a plan depicting the development layout with dimensions depicting conceptual setbacks, building heights, drive entrance and isle widths, with landscaping, building foot prints, hard surface percentages for the development site.
 - c. Phasing Plan – a colorized phasing plan depicting four (4) development phases. As approved by the City Council, Phases II-IV shall be commercial use only (no flex-use or residential option for Phase III is permitted).
 - d. Pedestrian Circulation Plan – a blue/red colorized layout depicting the proposed major and minor connections and pathways.
 - e. Fencing Plan – a blue/red colorized layout depicting the 4-foot and 6-foot fence locations and the selected designs.
2. The land uses and layout expectations approved for the Development are as follows:
 - a. Convenience Store Uses – 1-Story Main Building w/ fuel canopy and 25 parking stalls
 - b. Retail/Office Uses – Two (2) - 1-Story Main Buildings, 12,600 sq. ft. w/ 39 and 42 parking stalls, respectively
 - c. Multi-family Residential Uses - 3-Story Main Buildings (7 structures), 162 dwelling units, 369 parking stalls
 - d. Total Building Footprints;
 - i. Commercial = 22,779 sq. ft.
 - ii. Residential = 83,509 sq. ft.
 - e. Hard Surface Development;
 - i. Commercial = 86,101 sq. ft.
 - ii. Residential = 124,757 sq. ft.
 - f. Landscaping Coverage;
 - i. Commercial = 47,988 sq. ft.
 - ii. Residential = 158,510 sq. ft.
 - g. Pathway/Trail System – Internal/external pathways connecting to a proposed off-site trail connecting to Birnam Woods Trailhead (i.e. Legacy/D&RG Trail system).
3. The Development shall be subject to all applicable final site plan and subdivision development approvals, as defined in City Ordinances.
4. The PDO Conceptual Plan Approval does not include approval of any specific variations to the development standards of the Zoning or Subdivision Ordinances.
5. All final development approvals within the project area shall be deemed substantially consistent with the accepted Conceptual Plan Layout and Design.

6. The Commercial and Residential Architectural Concepts, as depicted on the Conceptual Plan, shall accomplish the following:
 - a. The building design expectation is a village-style design
 - b. Buildings with full pitched roofs
 - c. Use of dormers, gables, box windows, and canopies for windows and entryways
 - d. Garages, balconies and entry portals for residential buildings
 - e. Pedestrian amenities such as patios, plazas, and enhanced entries for the commercial uses
 - f. Colors and materials that are consistent with the Conceptual Design Plan, and may also include colors or materials compatible with the Legacy Crossing development or from the template of the Shorelands Commerce Park Design Guidelines.
 - g. All buildings to have a substantial architectural material base using rock, brick, or other similar maintenance free design material (*see provision Section 12-63-040.c.2*).
7. The Development shall be subject to the applicable Parrish Lane Gateway Design Guidelines, Off-street Parking, and Landscaping provisions of the Zoning Ordinance.
8. As part of Phase II Final Site Plan approval (*service station phase*), the Development shall establish and maintain an entryway landscaping theme along Parrish Lane and at the corner of Parrish/1250 West (*see Objective 2.E of the West Centerville Neighborhood Plan*).
9. The following options are available with regard to traffic circulation patterns;
 - a. Allow one access at 1250 to be a full turn ingress/egress (Phase 2).
 - b. Receive UDOT approval for the ingress/egress on Parrish Lane.
 - c. The right-turn pocket lane shall be installed with the 1250 West ingress.
 - d. The design of the right-turn pocket lanes for Parrish Lane shall be reviewed and deemed acceptable by UDOT.
 - e. The construction or reconstruction of street related infrastructure for 1250 West shall comply with the recommendations of the City Engineer and/or the recommendations of a traffic engineer, as deemed acceptable by the City.
10. The PDO Concept Plan acceptance is subject to all other applicable City Ordinances and other related development applications and approvals.
11. All future development within the Legacy Trail Apartments Planned Development must substantially comply with the Concept Plan acceptance, except as otherwise amended by the City.

Section 4. Findings. The rezone of the subject property to C-VH/PD and corresponding amendment to the Centerville City Zoning Map and acceptance of the Conceptual Plan for the Legacy Trail Apartments Planned Development are based on the following findings:

1. The proposed mixture of commercial and residential uses is consistent with the West Centerville Neighborhood Plan.

2. The West Centerville Neighborhood Plan envisioned only medium box type commercial uses, capped a 125,000 sq. ft.
3. The market conditions are not ripe now, nor likely in the future for medium box commercial uses, as evidenced by the following:
4. Farmington Station Park was developed after the West Centerville Plan adoption. Farmington Station Park has likely saturated the market for developing medium box type commercial uses.
5. Legacy Crossing at Parrish Lane provides space for medium box type commercial uses that have not yet come to fruition (i.e. Legacy Crossing at Parrish Lane development).
6. The petitioner has provided written opinions from Tate Properties and Mountain West, commercial real estate consultants, supporting the lack of medium box and restaurant interest in this area.
7. Limiting the allowance of other types of multi-family development negatively isolates the already developed multi-family of Legacy Crossing.
8. Master planning the entire area is better suited to address any impacts than to piecemeal development under an already long list of permitted commercial uses.
9. Thus, a PDO rezone provides an enhanced tool to address any development related concerns and maximizes the development opportunities for the entire site.
10. The City Council finds that the proposed development does not conflict with any applicable policy of the Centerville City General Plan.
11. The City Council finds that the proposed development meets the spirit and intent of the Zoning Ordinance as set forth in Section 12-41-010.
12. The City Council finds that the proposed development will allow integrated planning and design of the property and, on the whole, better development than would be possible under conventional zoning regulations.
13. The City Council finds that the proposed development meets the use and development limitations and other requirements of the zone with which the PDO zone is combined, except as otherwise allowed by the Zoning Ordinance.
14. The City Council finds that the proposed development meets the density limitations of the General Plan.
15. The City Council finds that the petitioners have or will have sufficient control over the property to be developed to ensure development will occur as approved.
16. The City Council finds that the petitioners appear likely to have the financial capability to carry out the planned development project.
17. The City Council finds that the petitioners will likely have the capability to start construction within one (1) year of a final plan approval.

Section 5. Severability. If any section, part or provision of this Ordinance is held invalid or unenforceable by a court of competent jurisdiction, such invalidity or unenforceability shall not affect any other portion of this Ordinance, and all sections, parts and provisions of this Ordinance shall be severable.

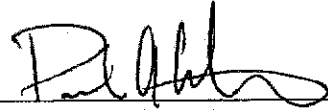
Section 6. Effective Date. Subject to conditions of approval set forth in Section 3, this Ordinance shall become effective upon publication or posting, or thirty (30) days after passage, whichever occurs first.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF CENTERVILLE CITY,
STATE OF UTAH, THIS 19 DAY OF MARCH, 2014.**

ATTEST:

CENTERVILLE CITY


Marsha L. Morrow, City Recorder

By: 
Mayor Paul A. Cutler

Voting by the City Council:

	"AYE"	"NAY"
Councilmember Averett	_____	<u>X</u> _____
Councilmember Fillmore	<u>X</u> _____	_____
Councilmember Higginson	<u>X</u> _____	_____
Councilmember Ivie	_____	<u>X</u> _____
Councilmember Wright	<u>X</u> _____	_____



EXHIBIT A

Rezone Property Description



Balling Engineering

323 East Pages Lane
P.O. Box 805
Centerville, Utah 84014
Phone: (801) 295-7237
Fax: (801) 299-0419
Email: jscottballing@gmail.com

March 24th, 2014

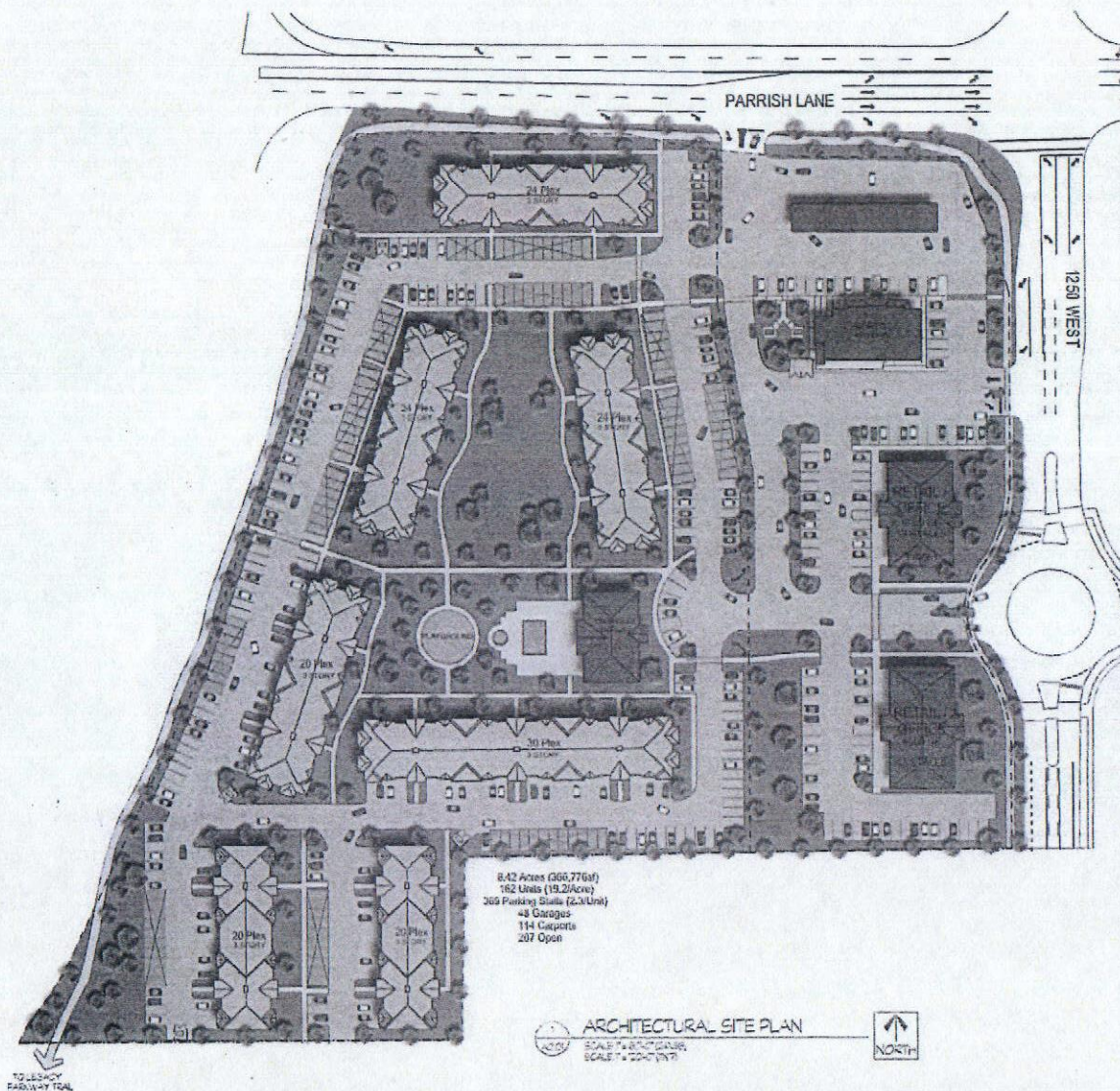
Description of Legacy Trail Property Overall Description

Beginning at the North Corner of Parcel 4 of the Legacy Crossing Road Dedication as recorded in Entry No. 2562864, Book 5140, Page 619 which point is N0°05'33"W 2,096.72 ft. along the section line and West 1,430.14 ft. from the Southeast Corner of Section 12, T.2N., R.1W., S.L.B. & M. and running thence N0°03'06"E 176.71 ft. along the West Boundary of 1250 West Street to the most southerly point of the property described in final judgement of compensation and condemnation recorded 12/02/2011 as Entry No. 2630277 in Book 5410, Page 170; thence along said property in the following four courses: (i) N20°00'00"W 132.78 ft., (ii) N89°24'50"09"W 113.72 ft., (iii) Westerly 197.54 ft. along the arc of a 902.33 ft. radius curve to the right (LC bears N83°33'48"W 197.15 ft.), (iv) N89°36'02"W 138.63 ft. to a point which is S0°01'07"W 232.13 ft. along the Quarter Section Line and East 196.78 ft. and S89°54'34"E 523.75 ft. from the Center of said Section 12; thence N89°54'34"W 110.20 ft. along the Southerly R/W Line of Parrish Lane to the Easterly R/W Line of a Highway know as project No. 0067; thence along said Easterly R/W Line in the following eight (8) courses and distances: (i) Southwesterly 44.11 ft. along the arc of a 84.65 ft. radius curve to the left, chord bears S24°57'58"W 43.61 ft., (ii) S10°02'15"W 156.95 ft., (iii) Southerly 39.52 ft. along the arc of a 591.21 ft. radius curve to the right, chord bears S16°40'25"W 39.51 ft., (iv) S18°34'47"W 251.29 ft., (v) Southerly 112.55 ft. along the arc of a 1,005.91 ft. radius curve to the right, chord bears S21°48'19"W 112.50 ft., (vi) S25°00'19"W 207.09 ft., (vii) Southwesterly 80.82 ft. along the arc of a 315.15 ft. radius curve to the right, chord bears S32°54'50"W 80.59 ft., (viii) Southwesterly 20.21 ft. along the arc of a non-tangent 2,220.14 ft. radius curve to the right, chord bears S26°37'45"W 20.21 ft.; thence N89°43'48"E 413.28 ft. to the Southwest Corner of the Tumblewood Condominiums, said point being N0°01'07"W 1,560.27 ft. along the Quarter Section Line and N89°07'03"E 702.26 ft. from the South Quarter Corner of said Section 12; thence along the boundary of said Tumblewood Condominiums in the following two courses: (i) N1°13'17"E 171.07 ft. and (ii) N89°07'03"E 507.87 ft.; thence N0°03'06"E 94.20 ft. along said West boundary of 1250 West Street to the South Corner of said Parcel 4 of Legacy Crossing Road Dedication; thence along the west boundary of said Parcel 4 in the following three courses to the point of beginning: (i) Northwesterly 85.31 ft. along the arc of a 140.00 ft. radius curve to the left (LC bears N17°30'26"W 84.47 ft.), (ii) Northerly 94.39 ft. along the arc of a 77.00 ft. radius curve to the right (LC bears N0°03'06"E 88.59 ft.), (iii) Northeasterly 85.31 ft. along the arc of a 140.00 ft. radius curve to the left (LC bears N17°36'38"E 84.47 ft.)

Containing 12.0222 Acres

EXHIBIT B

Legacy Trail Apartments Conceptual Plan



8.42 Acres (266,776sf)
162 Units (19.2/Acre)
309 Parking Stalls (2.2/Acre)
48 Garages
114 Carports
207 Open



ARCHITECTURAL SITE PLAN

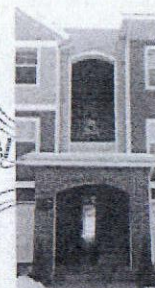
SCALE 1/8\"/>



COMMERCIAL ARCHITECTURAL CONCEPTS



RESIDENTIAL ARCHITECTURAL CONCEPTS



COVERED ENTRY



PRIVATE GARAGES



MATERIAL VARIETY



ARCHITECTURAL RELIEF

Architecture Building Inc.
Architectural & interior
design services
1250 W. Parrish Lane
Centerville, Utah 84304
(801) 225-1111

Legacy Trail Apartments
1250 W Parrish Ln.
Centerville, Utah

Sheet Title

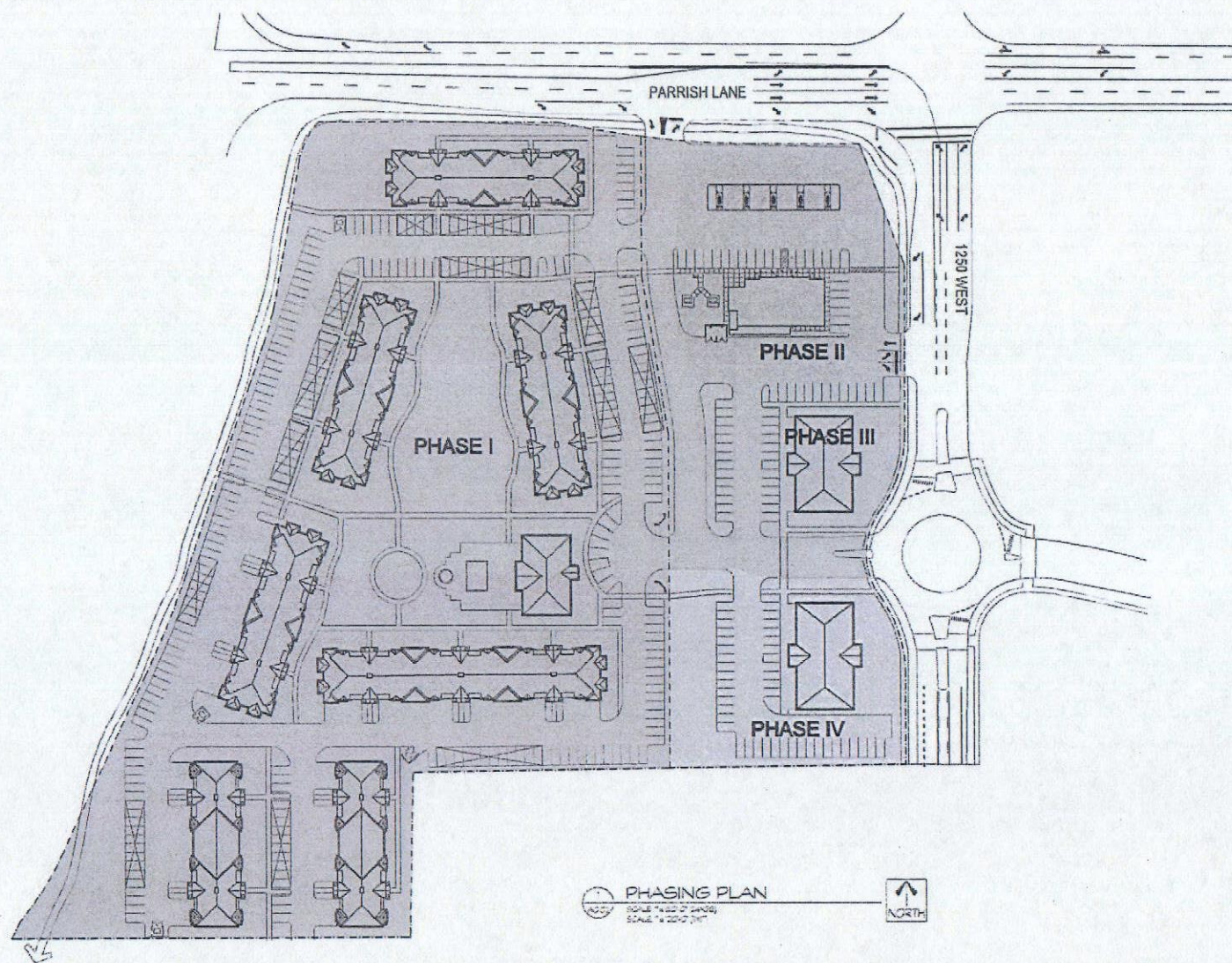
Architectural
Site Plan

Date

March 3, 2014

Sheet Number

A-001



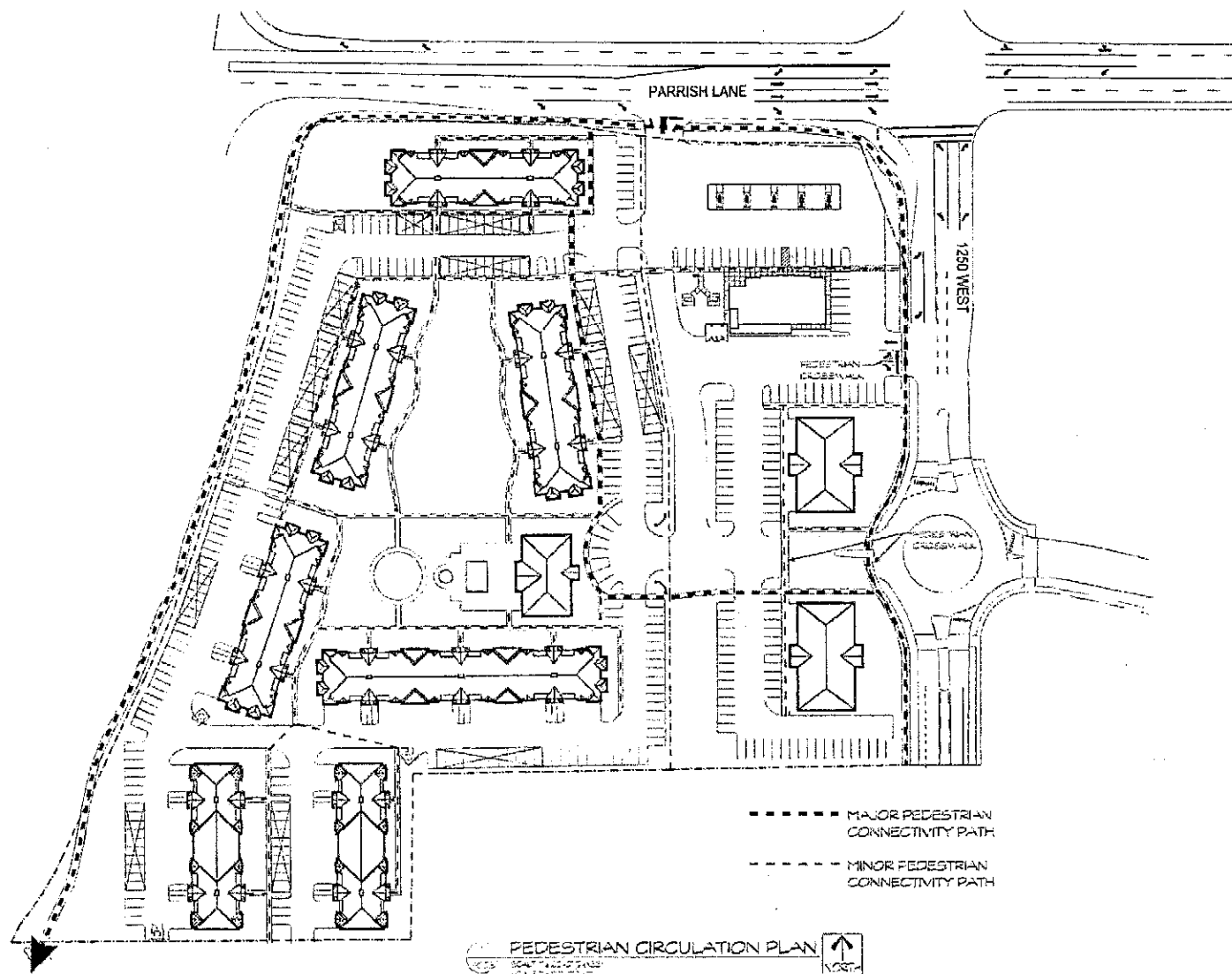
PHASING PLAN
 SCALE: 1" = 20' (0.5")



Architecture Studio Inc.
 1250 W. Parrish Lane, Suite 100
 Centerville, Utah 84304

Legacy Trail Apartments 1250 W Parrish Ln. Centerville, Utah

Sheet Title
Architectural Site Plan
Date
March 3, 2014
Sheet Number
A-0.02



Architecture Design, Inc.
 10000 N. 10th Ave.
 Suite 100
 Phoenix, AZ 85020

Legacy Trail Apartments 1250 W Parrish Ln. Centerville, Utah

Sheet Title

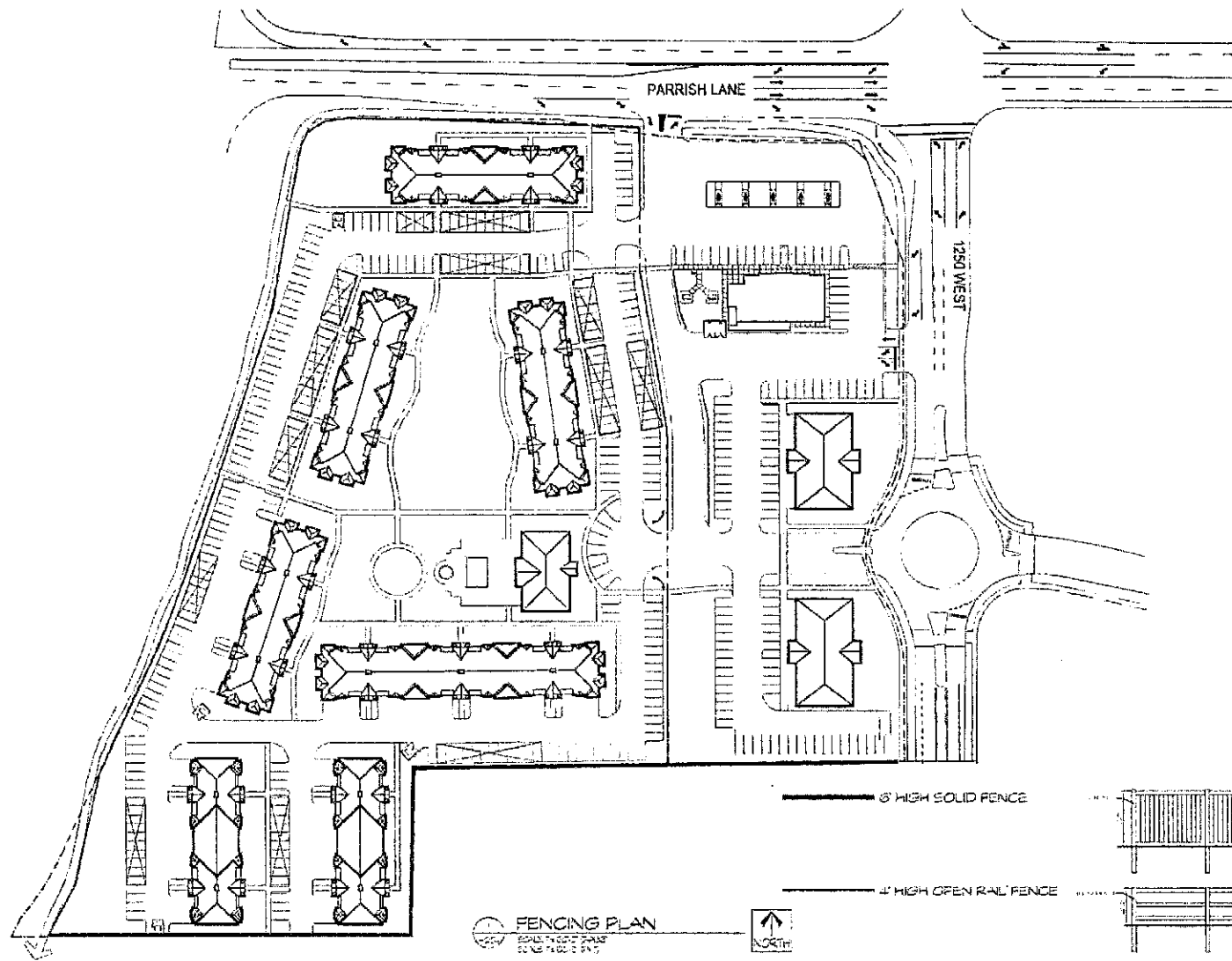
Architectural
 Site Plan

Date

March 3, 2004

Sheet Number

A-0.03



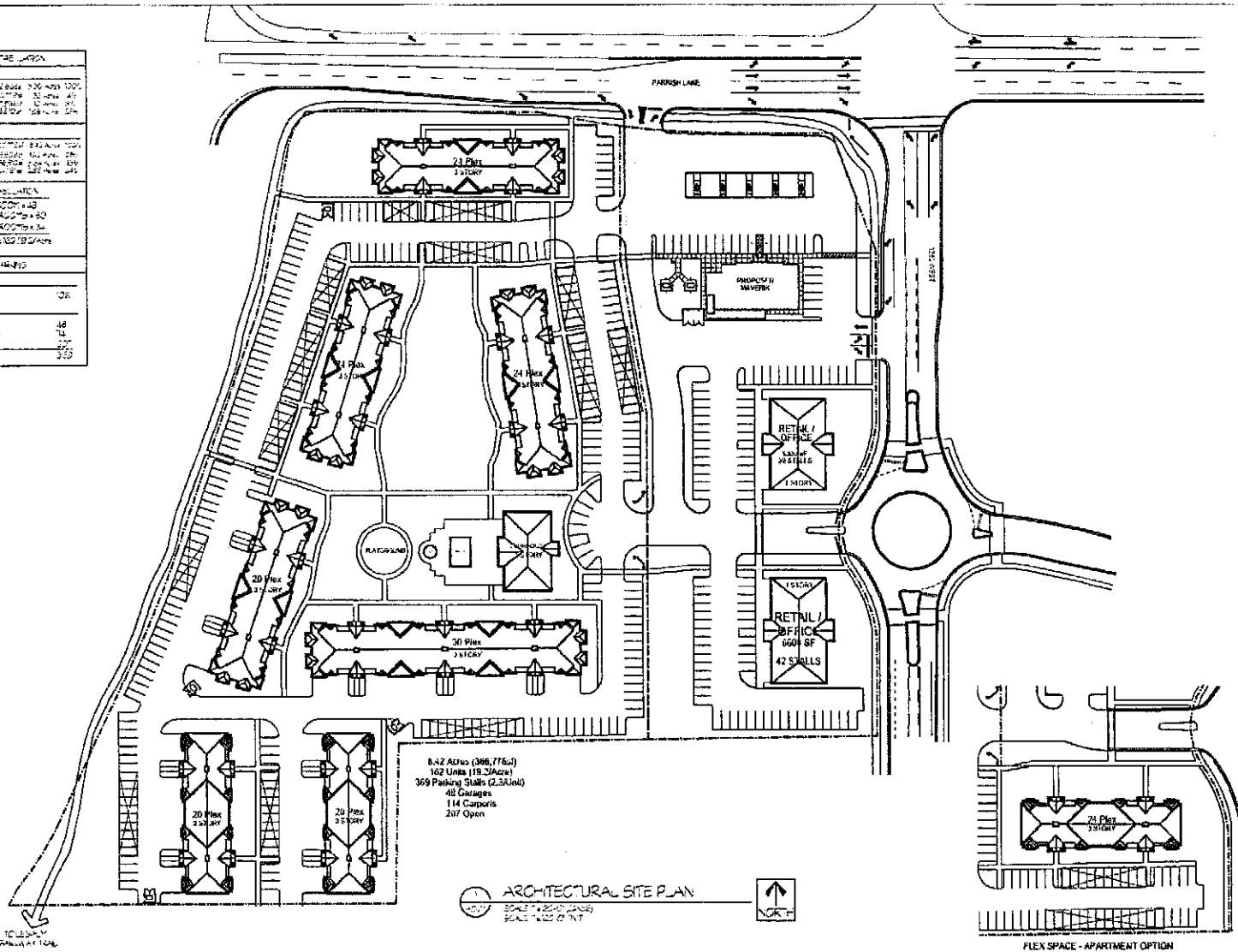
Architectural Site Plan
10/10/14

Legacy Trail Apartments 1250 W Parrish Ln. Centerville, Utah

Sheet Title
Architectural
Site Plan

Date
10/10/14

Sheet Number
A-004

[illegible]

Robert M. H. Smith
Chairman & President
Signature Services, Inc.
10000 Wilshire Blvd., Suite 200
Beverly Hills, CA 90210

Legacy Trail Apartments
250 W Parlier Ln.
Centerville, Utah

Sheet Title
Architectural
Site Plans

Date
March 3, 2014

Sheet Number

A-0.01

MAVERIK CONVENIENCE STORE

CITY OF CENTERVILLE

Maverik, Inc. intends to construct a convenience store with gas service at the Southwest corner of Parrish Lane and 1250 West. The property on which the store will be built is vacant land adjacent to an approved development consisting of Multi-family housing and retail space. Maverik intends to build a store with approximately 5,000 square feet of store space with an additional 160 square feet of cooler space. The property is 53,183 square feet or 1.29 acres.

Access to the property will be from a right in/right out driveway from Parrish Lane as well as from a proposed shared access driveway off of 1250 West at the Southernmost property line of the Maverik parcel. Parking for vehicles will be provided in front of the store as well as on the East and South sides of the store and will consist of 36 parking stalls, two of which will be handicap accessible stalls.

The lot is large enough to provide adequate traffic circulation for vehicles, bicycles and pedestrians. The two drive accesses for ingress and egress will allow for efficient traffic flow for delivery trucks as well as customer traffic.

The only outside storage for the store will be in the "Housekeeping Pad" on the rear of the building as shown on the drawings and will be enclosed within a chain link fence with privacy slats. The trash dumpster will be enclosed within a three-sided block wall enclosure with a solid metal gate across the front access area. There will be no specified delivery areas. Delivery of store product will utilize the parking lot and will be of short duration so as to cause minimal impact on traffic flow and circulation. Delivery of fuel will be between the gas canopy and Parrish where the underground storage tanks will be located.

Stormwater drainage will be handled as the code requires. A stormwater drainage plan has been designed by the engineer and complies with all City codes and ordinances.

A 25 foot pole sign is proposed for the site, to be located near the Northeast corner of the property. Yesco Signs of Utah will process the appropriate sign permit.

Our engineer has worked with the local utilities to design a utility plan that will provide adequate service to the development and will be in compliance with City codes.

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MAVERIK CONVENIENCE STORE

CITY OF CENTERVILLE

DEVELOPMENT SCHEDULE

Once Maverik obtains all necessary entitlements and construction permits, the estimated time of construction is 130 days from start to finish. Depending on the process in obtaining the entitlements, we would expect to have the store under construction my September, 2015 with a completion date in January, 2016.

RECEIVED MAR 18 2015



NOTE

ADVENTURE'S FIRST STOP
MAVERIK
STORE# ???
MAVERIK 5000
SWC of
Parrish Lane & 1250 W
Centerville UT 84014

#	Date	Description

ISSUE:	MARCH 16, 2011
PROJECT NO.	M1202
DRAWN BY:	B.J.
CHECKED BY:	T

SWEET TIDE

COLORED ELEVATIONS

A-2.1C

© 2015 DIXON + ASSOCIATES





825 South 2000 West
#9 2000 - #10 2411
P.O. Box 10000
www.dixonassociates.com



CONSULTANTS

NOTE:

See documents for details regarding or subject to special conditions.
Documents are prepared for the use of the architect and are not to be used for construction. Dixon Associates is not responsible for construction details or for the use of products or materials not specified in the documents.
Construction information is provided by the architect and is not to be used for construction. Dixon Associates is not responsible for construction details or for the use of products or materials not specified in the documents.

ADVENTURE'S FIRST STOP
MAVERIK
STORE# ???
MAVERIK 5000
SWC of
Parrish Lane & 1250 W
Centerville UT 84014

PERMITTING

#	Date	Description

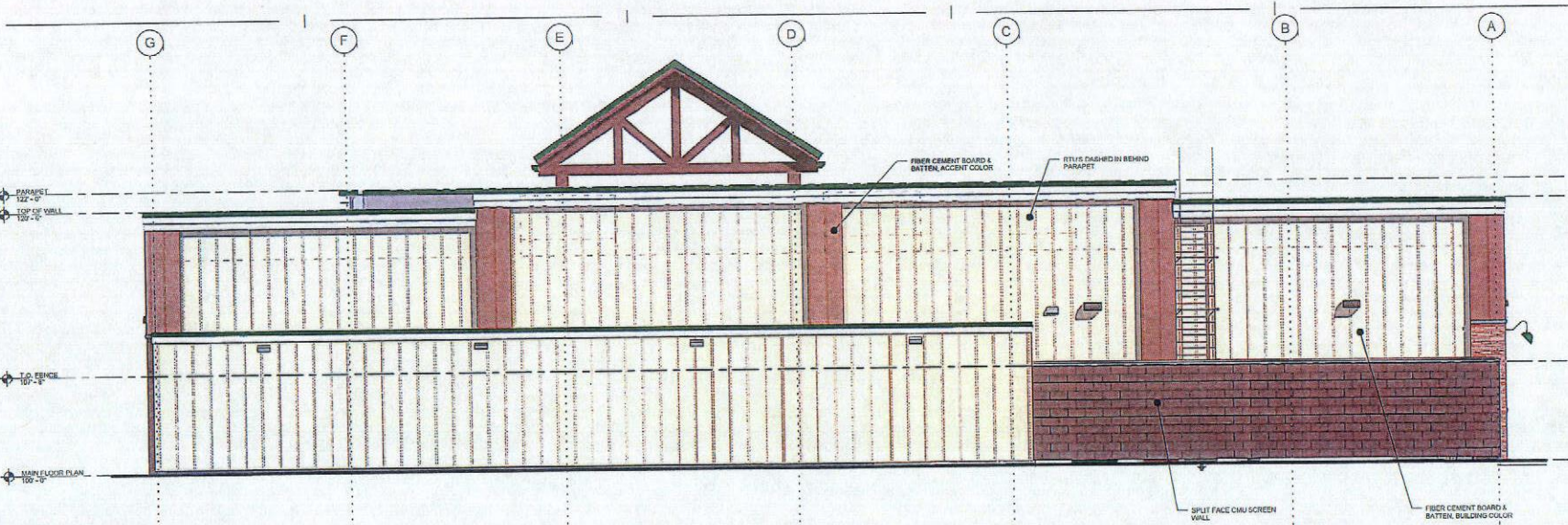
ISSUE: MARCH 16, 2015
PROJECT NO.: M12028
DRAWN BY: DJM
CHECKED BY: TA

SHEET TITLE

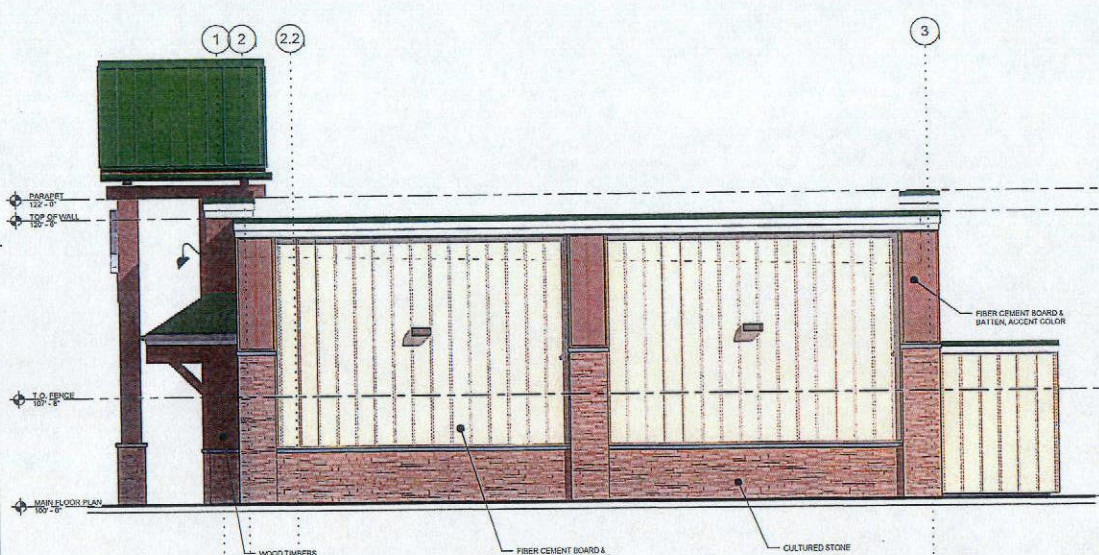
**COLOR
ELEVATIONS**

A-2.2C

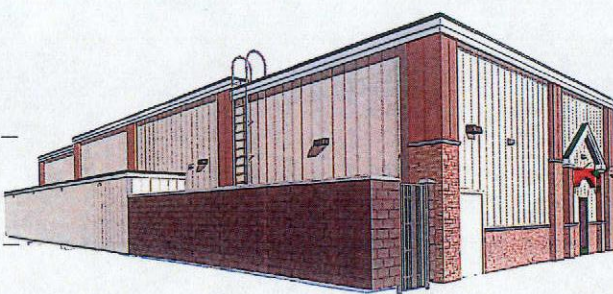
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2 BACK - COLORED ELEVATION
A-2.2C scale: 1/4" = 1'-0"

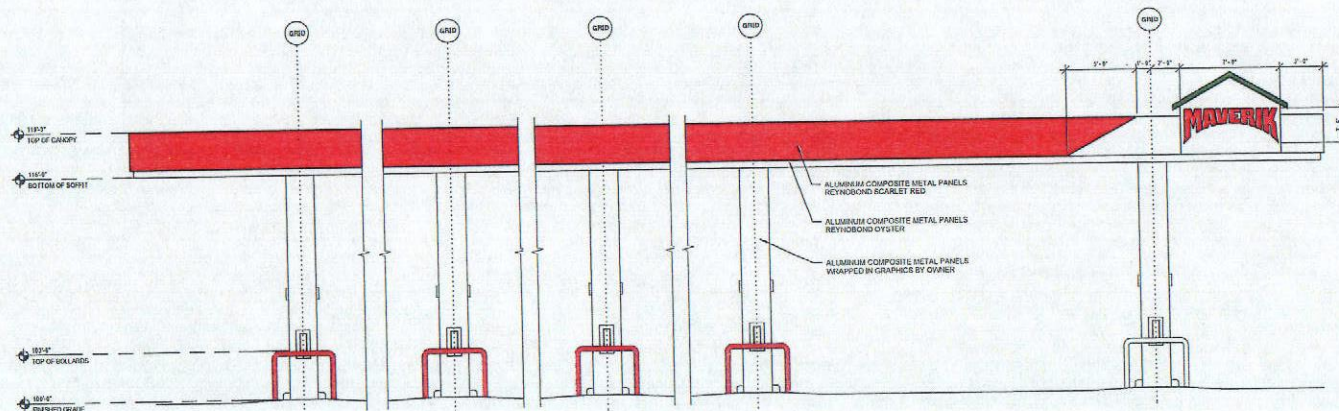


1 RIGHT - COLORED ELEVATION
A-2.2C scale: 1/4" = 1'-0"

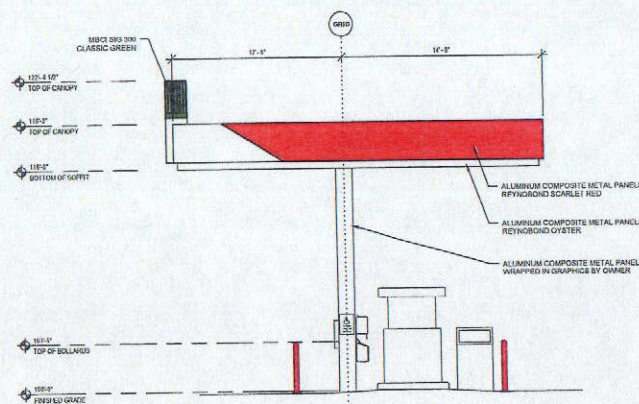


3 BACK-LEFT PERSPECTIVE
A-2.2C scale:

RECEIVED MAR 18 2015



1 COLORED FUEL DISPENSING CANOPY STREET ELEVATION
scale: 1/4" = 1'-0"



2 COLORED FUEL DISPENSING CANOPY END ELEVATION
scale: 1/4" = 1'-0"



CONSULTANTS

NOTE:

Before construction, the contractor shall submit a request for information to the owner. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for ensuring that the construction complies with all applicable codes and regulations. The contractor shall be responsible for ensuring that the construction is completed within the specified time frame. The contractor shall be responsible for ensuring that the construction is completed within the specified budget. The contractor shall be responsible for ensuring that the construction is completed within the specified quality standards. The contractor shall be responsible for ensuring that the construction is completed within the specified safety standards. The contractor shall be responsible for ensuring that the construction is completed within the specified environmental standards. The contractor shall be responsible for ensuring that the construction is completed within the specified social standards. The contractor shall be responsible for ensuring that the construction is completed within the specified economic standards. The contractor shall be responsible for ensuring that the construction is completed within the specified cultural standards. The contractor shall be responsible for ensuring that the construction is completed within the specified historical standards. The contractor shall be responsible for ensuring that the construction is completed within the specified archaeological standards. The contractor shall be responsible for ensuring that the construction is completed within the specified paleontological standards. The contractor shall be responsible for ensuring that the construction is completed within the specified historical standards. The contractor shall be responsible for ensuring that the construction is completed within the specified archaeological standards. The contractor shall be responsible for ensuring that the construction is completed within the specified paleontological standards.

ADVENTURE'S FIRST STOP
MAVERIK
STORE# ???
MAVERIK 5000
SWC of
Parrish Lane & 1250 W
Centerville UT 84014

PERMITTING

#	Date	Description
1		
2		
3		
4		
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ISSUE: MARCH 16, 2015
PROJECT NO: M12028
DRAWN BY: JWS
CHECKED BY: DO

SHEET TITLE

COLORED CANOPY ELEVATIONS

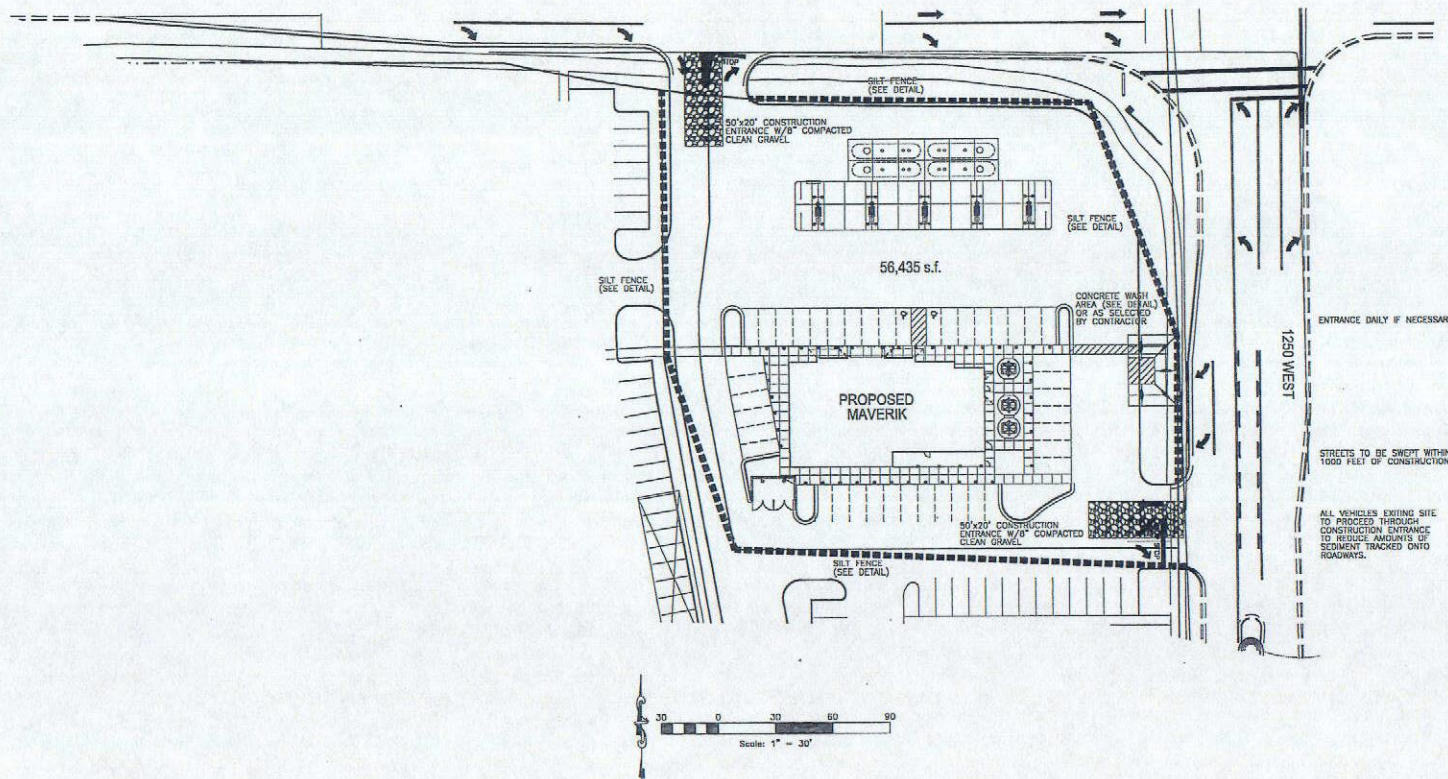
A-2.4C

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RECEIVED MAR 18 2015

STREETS TO BE SWEEPED WITHIN
1000 FEET OF CONSTRUCTION
ENTRANCE DAILY IF NECESSARY

ALL VEHICLES EXITING SITE
TO PROCEED THROUGH
CONSTRUCTION ENTRANCE
TO REDUCE AMOUNTS OF
SEDIMENT TRACKED ONTO
ROADWAYS.



- PROJECT LOCATION.....CENTREVILLE CITY, DAVIS COUNTY, UTAH
- PROJECT BEGINNING DATE.....MAY 2015
- BMP'S DEPLOYMENT DATE.....MAY 2015
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....JIM CHILD @ MAVERIK (877) 936-5557
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER.....UNTIL GENERAL CONTRACTOR IS HIRED



CONSULTANTS



PROJECT NUMBER: 5799-08

NOTE:

Bid documents should not be separated or loaned to third parties or subcontractors. Bidders are responsible for all portions of the documents that pertain to the work covered by sub-bids. Bidder assumes full responsibility for errors or misinterpretations resulting from use of partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately so that questions and concerns may be clarified by submittal. In the event of a conflict in the drawings, bidder should not assume that the least expensive option will meet the project requirements.

ADVENTURE'S FIRST STOP
MAVERIK

STORE #???
MAVERIK, Inc.
SWC of Parrish Lane
& 1250 West
Centerville, Ut.

#	DATE	DESC.

ISSUE:	2/25/201
PROJECT NO:	
DRAWN BY:	RW
CHECKED BY:	JN

Preliminary SWPPP

G2

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RECEIVED MAR 18 2015

Notes:

- Describe BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattles, barriers, or gravel bags (see detail).
- Describe BMP's to eliminate/reduce contamination of storm water from:
a. Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
b. Soil contaminated by soil immiscibilities:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
c. Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
d. Fencing areas:
To be performed in designated areas only and surrounded with silt fence.
e. Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
f. Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
g. Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
h. Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
i. Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
j. Service areas:
To be performed in designated areas only and surrounded with silt fence.

- BMP's for wind erosion:
Stockpiles and site as needed to be watered regularly to eliminate / control wind erosion.

Construction Vehicles and Equipment:

- Maintenance:
- Maintain all construction equipment to prevent oil or other fluid leaks.
- Keep vehicles and equipment clean, prevent excessive built-up of oil and grease.
- Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
- Check incoming vehicles and equipment, (including delivery trucks), and employees and subcontractor vehicles) for leaking oil and other fluids. Do not allow leaking vehicles or equipment on-site.
- Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
- Fueling:
- If fueling must occur on-site, use designated areas away from drainage.
- Locate on-site fuel storage tanks in a basement area designed to hold the tank volume.
- Cover retention area with an impervious material and install in a container to ensure that any spills will be contained in the retention area. Catch spills or leaks when removing or changing fluids.
- Use drip pans for any oil or fluid changes.
- Working:
- Use as little water as possible to avoid installing erosion and sediment controls for the work area.
- If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
- Use phosphate-free, biodegradable soaps.
- Do not permit steam cleaning on-site.

Spill Prevention and Control:

- Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After notifying local emergency response agencies, the following should occur upon discovery of a minor spill:
- Contain the spread of the spill.
- If the spill occurs on pavement or impervious surface, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
- If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up property disposed of contaminated soil.
- If the spill occurs during rain, cover the impacted area to avoid runoff.
- Record all spills taken to report and contain spill.
- Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-9302. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.

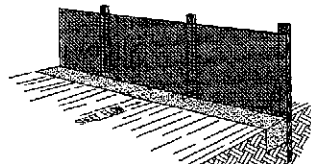
Post Roadway / Utility Construction:

- Maintain good housekeeping practices.
- Enclose or cover building material storage areas.
- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks at site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streams or streams.
- Do not place material or debris into streams, ditches or catch basins that stop or reduce the flow of runoff water.
- All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction activities. Debris will be swept within 100' of construction entrance daily, if necessary.
- Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.

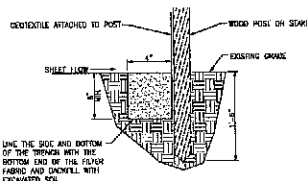
Erosion Control Plan Notes:

- The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
- A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events.
- Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is imminent.
- Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that has the potential of erosion without consulting the engineer of record. If removal necessary erosion control should be reestablished before this work begins.
- Graded areas adjacent to the slope located at the site perimeter must drain away from the top of the slope of the construction of such working day. This should be confirmed by survey or other means acceptable to the engineer of record.
- All silt and debris shall be removed from all devices within 24 hours after such rain or runoff event.
- Except as otherwise approved by the inspector, all erodible protective devices shown shall be in place at the end of each working day and through weekend and after removal of the system is approved.
- All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the Engineer of record or the governing agency.
- The placement of additional devices to reduce erosion damages within the site is left to the discretion of the Engineer of record.
- Grading basins may not be removed or made impermeable without the approval of the engineer of record and the governing agency.
- Erosion control devices will be modified as needed at the project progress, and plans of these changes submitted for approval by the engineer of record and the governing agency.

- Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.
- Port B.D.4 of general permit UTR300003 identifies the minimum inspection requirements.
- Port B.D.4.2 identifies the minimum inspection report requirements.
- Failure to complete one or more storm water inspections is a violation of port B.D.4 of Utah General Permit UTR 300003.



Perspective View



Section

INSTALLATION

The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation whenever flow of sediment is anticipated. Table 1 shows generally recommended maximum fence heights (slope spacing between fences) at various site grades for most silt fence applications.

TABLE 1: Recommended Maximum Slope Lengths for Silt Fence (Adapted from U.S. Department of Agriculture, 1981)	
Slope Steepness (%)	Max. Slope Length ft. (m)
<2%	30.5m (100ft)
2-3%	22.9m (75ft)
3-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.6m (15ft)

UNREINFORCED SILT FENCE BUILT

*Construct a minimum 15.2m x 10.2m (50'x34') trench at the desired location.
*Install the silt fence, positioning the post against the downstream wall of the trench.
*Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other, before nesting the end posts, rotate each post until the connection is wrapped completely around the post, then pull the end posts to create a tight seal as shown in Figure 1.
*Nest posts into the ground until the required fence height and/or exchange depth is achieved.
*Nest the loose post(s) at the bottom of the trench in the upstream trench and backfill with natural soil, forming the bed(s) to provide good compaction and anchorage.
*Figure 2 illustrates a typical silt fence installation and anchor trench placement.

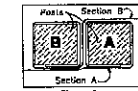
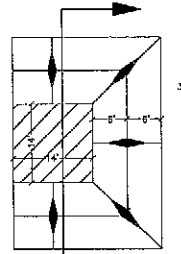


Figure 1:
Top View of
Roll-to-Roll Connection

FIELD ASSEMBLY

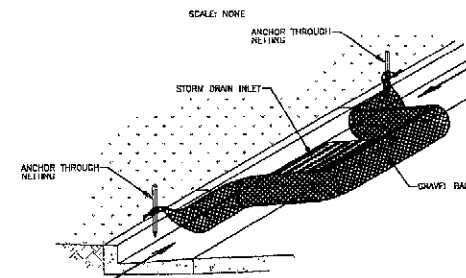
*Construct a minimum 15.2m x 10.2m (50'x34') trench at the desired location.
*Drive wooden posts, or steel posts with locking projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing

Silt Fence Detail

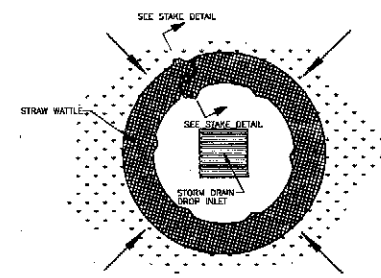


Concrete Washout Area
w/ 10 mil Plastic Liner

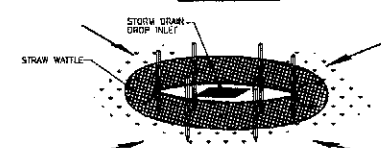
SCALE: NONE



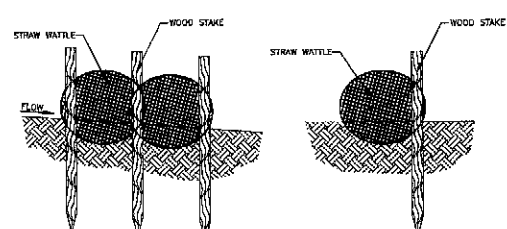
Inlet Box Protection



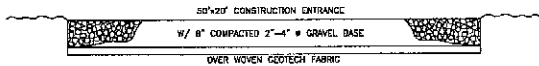
Plan View



Drop Inlet Protection



Stake Detail



Cross Section 50' x 20' Construction Entrance



CONSULTANTS



1220 CHAMBERS STREET, SUITE 114
OAKDALE, IOWA 50450
TEL: (515) 457-3100
FAX: (515) 457-3444
www.reeve-associates.com

LEAD FURNISHING: CMAA MEMBER
LEAD APPROVAL: IOWA BOARD OF PROFESSIONAL ENGINEERS

PROJECT NUMBER: 5709-06

NOTE:

All documents should be submitted in triplicate to the engineer of record. All documents are the property of the engineer of record and shall remain the property of the engineer of record. All documents shall be submitted in triplicate to the engineer of record. All documents shall be submitted in triplicate to the engineer of record.



STORE #???
MAVERIK, Inc.
SWC of Parrish Lane
& 1250 West
Centerville, Ut.

#	DATE	DESC.
1	2/25/2014	ISSUE
2		PROJECT NO.
3		DRAWN BY: RWH
4		CHECKED BY: JMR

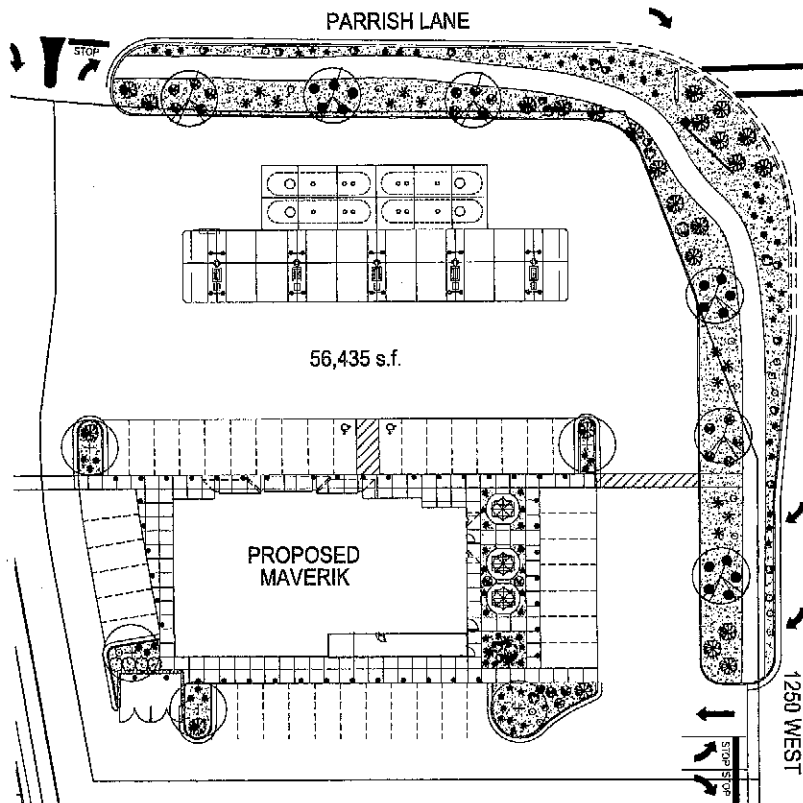
SHEET TITLE

Preliminary SWPPP

C2

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RECEIVED MAR 18 2015

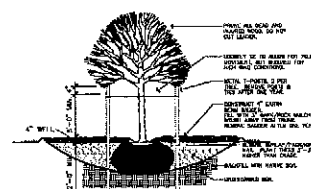


Landscape Concept - Xeriscape

3" Layer of 1" minus gravel mulch over Geotext Pro 5 Weed Barrier Cloth, or equal.

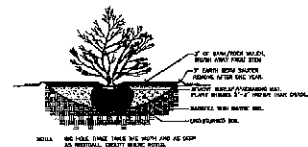
Decorative Hardscape

NOTE: All trees, shrubs, and perennials shall be drought tolerant. A water-conserving, underground drip irrigation system shall be used throughout site.



DECIDUOUS TREE PLANTING

SCALE: 1" = 20'



SHRUB PLANTING

SCALE: 1" = 20'

General Notes

- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate site work with the project manager and all other contractors working on this site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 2/4" below the top of all surrounding walks, curbs, etc.
- The contractor shall stake the location of all plants for approval prior to planting. Trees shall be located equidistant from all surrounding plant material. Shrubs and ground covers shall be triangular and equally spaced.
- The plant materials list is provided as an indication of the specific requirements of the plants specified, wherever in conflict with the planting plan, the planting plan shall govern.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications. The Owner/Landscape Architect decision will be final.
- The contractor shall keep the premises, storage areas and working areas neat and orderly at all times. Remove trash, excess, clean, noise, etc. daily.
- The contractor shall plant all plants per the planting details, stake/guy as shown. Top of root balls shall be planted flush with grade.
- The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walls, etc.
- The contractor shall maintain all work until ALL work is complete and accepted by the Owner. In addition, the contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include watering, weeding, fertilizing, cleaning, insecticides, herbicides, etc.
- Maverik Corporation shall be responsible for landscape maintenance beyond construction period.

SPIRINKLER NOTE

All Plant Material shown on the drawing shall be serviced by an Automatic Underground Irrigation System. The Contractor is to have a qualified Irrigation System specialist prepare a design for an Automatic Underground Irrigation System and submit drawings to the Engineer for approval at least 30 days prior to the system installation. Underground Irrigation System Drawings shall be prepared on 24"x36" sheet, neatly drawn and very legible. Drawings are to include head spacing, types of heads, piping with sizes, valves, fittings and all other items required for proper installation of the system.

The Landscape Contractor shall be responsible for the installation of all irrigation sleeves prior to placement of hard improvements. Coordinate with the General Contractor.

The Landscape Contractor is to provide an irrigation system connection (meter and backflow preventer assembly) to the waterline, as applicable, within State and Local jurisdictional codes. The Irrigation Contractor is responsible to coordinate this item with the Utility Contractor.

The Irrigation Control Box shall be located at the direction of the Project Manager.



CONSULTANTS



PROJECT NUMBER: 5729-01

NOTE:
All documents shall not be separated or bound or partial work in construction. All documents shall be the property of the consultant and shall remain in the possession of the consultant. In the event of a conflict in the drawings, the drawings shall not be used for any other purpose than the project for which they were prepared.



STORE #???
MAVERIK, Inc.
SWC of Parrish Lane
& 1250 West
Centerville, Ut.

#	DATE	DESC.

ISSUE: 02/20/14
PROJECT NO: 5729-01
DRAWN BY: RWR
CHECKED BY: JNR

SHEET TITLE

Preliminary
Landscape

L1

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RECEIVED MAR 18 2015

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 5**

**PROPERTY OWNER/
APPLICANT:** PAUL HOLMES
1312 WEST 1900 SOUTH
WOODS CROSS, UT 84087

EMAIL: FLAWLESS1931@AOL.COM

PROPERTY: 150 EAST 200 SOUTH

ACREAGE: .25

ZONING: RESIDENTIAL-LOW (R-L)

APPLICATION: FINAL SITE PLAN APPROVAL

RECOMMENDATION: APPROVE THE FINAL SITE PLAN

BACKGROUND

On March 25, 2015, Paul Holmes received a conceptual acceptance from the Planning Commission to construct a new home located at 150 East 200 South. This property has never had a home placed on the lot and is not part of a platted subdivision. According to Section 12-21-110(c)(2)(E), of the Zoning Ordinance, the site plan approval process must be completed for any residential development outside a platted subdivision. Mr. Holmes would like to sell the property as a developable lot. In order to do this, he must first receive approval from the City for development.

PREVIOUS CONDITIONS OF APPROVAL

1. All fees shall be paid; including all related development fees.
 - **Staff response:** The applicant has paid all necessary fees to this point. Any other professional services fees shall be the responsibility of the applicant.
2. The applicant shall submit a final site plan application meeting the standards found in Section 12-21-110(e) of the Ordinance.
 - **Staff Response:** An application for the final site plan was submitted on April 1, 2015, and was found to be complete in meeting all the necessary requirements for review by the Planning Commission.

3. All utilities shall be indicated on the final site plan.
 - **Staff Response:** The applicant has indicated on the final plans the location of the sewer, water and overhead power. All other utility locations shall be determined by the individual utility companies.
4. All utility provider sheets shall be submitted to City staff at the time of the final site plan application.
 - **Staff Response:** The applicant has submitted all necessary utility provider sheets. Each utility company has stated they have adequate service for a new home.
5. The applicant shall submit detail to City staff concerning the expected overall height of the residential building as part of the final site plan.
 - **Staff Response:** This condition was stated prior to staff fully knowing the intentions of the applicant to sell the property as a buildable lot. Therefore, the height will be reviewed as part of the building permit application process.
6. Required public utility easements and any other easements required by the City Engineer shall be prepared by the applicant and submitted to the City for acceptance by the City Council within thirty (30) days from the date of final site plan approval.
 - **Staff Response:** A 10-foot public utility easement has been placed along the front of the lot along 200 South. Two additional easements measuring 7 feet are located on the east and west property lines. The applicant will still be required to record these easements 30 days from the final site plan approval.
7. All related impact fees need to be paid, as per City's Fee Schedule.
 - **Staff Response:** This condition remains in effect and will need to be completed prior to the issuance of a building permit.

FINAL SITE PLAN SECTOPM 12-12-110(e)

The final site plan is in harmony with the conceptual site plan that was accepted March 25, 2015. The lot is located within the R-L Zone, which allows single-family development. The proposed property was found to meet all the applicable Ordinance requirements concerning Development Standards found within Table 12-32-1 of the Zoning Ordinance. A building permit is required prior to any construction taking place and will need to meet all applicable standards found within the Zoning Ordinance. All utilities will need to be properly connected to the new home and be inspected by the City Engineer.

After reviewing the conceptual site plan, staff believes the applicant has clearly shown how the property may be developed. They have also indicated how the criteria within the Zoning Ordinance for development within the R-L Zone will be fulfilled. Finally, any unpaid fees will need to be posted prior to a building permit being issued.

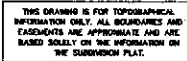
PLANNING STAFF RECOMMENDATIONS

PROPOSED ACTION: I hereby make a motion for the Planning Commission to approve the final site plan for the Paul Holmes Residential Lot, located at 150 East 200 South, with the following conditions:

1. All fees shall be paid; including all related development fees and impact fees according to the City's Fee Schedule.
2. Required public utility easements and any other easements required by the City Engineer shall be prepared by the applicant and submitted to the City for acceptance by the City Council within thirty (30) days from the date of final site plan approval.
3. A building permit shall be submitted prior to any construction on the lot taking place.

SUGGESTED REASONS FOR THE ACTION:

1. The applicant has clearly shown how the property may be developed [Section 12-21-110(d)(2)].
2. The applicant has submitted a full application [Section 12-21-110(e)(1)].
3. Proposed utility easements are required on all developed lots [Section 12-21-110(e)(2)(iii)(d), 15-5-106(8)].



PROPERTY LINE _____
 ADJACENT PROPERTY _____
 EXISTING INDEX CONTOUR _____ 4220 _____
 EXISTING MINOR CONTOUR _____
 PUBLIC UTILITY EASEMENT (P.U.E.) _____
 SETBACK _____
 FENCE LINE _____
 CURB, OUTRIG, SIDEWALK _____
 EXISTING SPOT ELEVATION _____

05-04

A PUBLIC UTILITY EASEMENT FOLLOWS ALONG THE EAST, SOUTH, AND WEST BOUNDARIES OF A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF BLOCK 20, PLAT "A", CENTERVILLE TOWNSHIP SURVEY, DAVIS COUNTY, IOWA, BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE GRANTOR'S PROPERTY, SAID POINT BEING NORTH 87°55'42" EAST 82.017 FEET FROM THE MONUMENT AT THE INTERSECTION OF MAIN STREET AND 10TH AVENUE, BEING 15.000 FEET FROM THE MONUMENT TO THE POINT, THE CENTERLINE OF SOUTH STREET, SAID POINT IS ALSO NORTH 88°54'42" EAST 128.150 FEET ALONG THE SOUTH LINE OF BLOCK 20 AND NORTH 0°00'28" EAST 4.000 FEET FROM THE SOUTHWEST CORNER OF LOT 2, BLOCK 20, PLAT "A" OF CENTERVILLE TOWNSHIP SURVEY, AND RUNNING

THENCE NORTH 00°00'28" EAST 138.862 FEET ALONG THE PARCEL LINE TO THE NORTHEAST CORNER OF SAID PARCEL;

THENCE NORTH 88°52'42" EAST 7.000 FEET ALONG THE PARCEL LINE;

THENCE SOUTH 00°00'28" WEST 128.867 FEET;

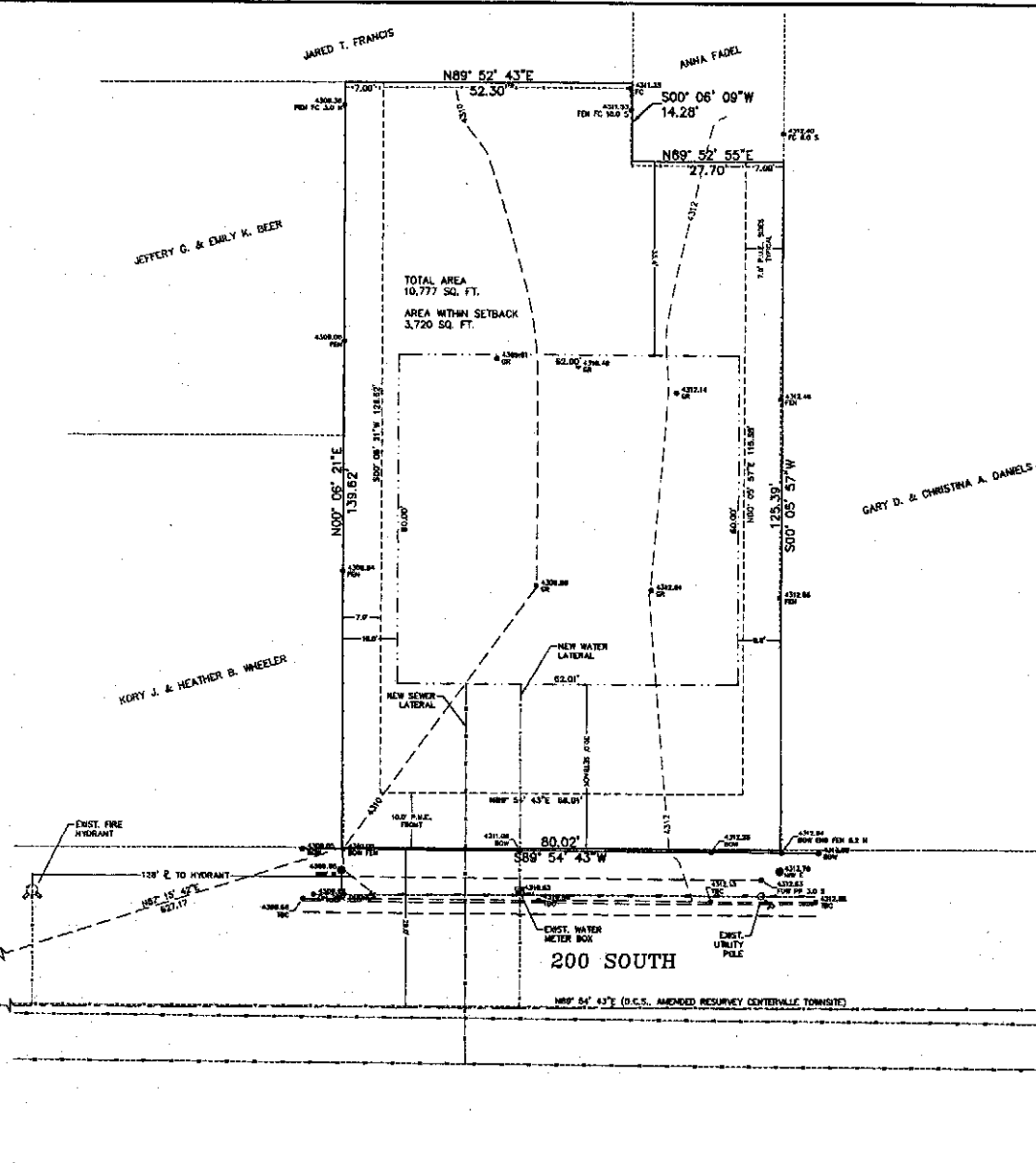
THENCE SOUTH 88°52'42" WEST 128.867 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL;

THENCE NORTH 00°00'28" EAST 113.868 FEET ALONG THE SOUTH LINE OF SAID PARCEL;

THENCE NORTH 88°50'42" EAST 7.000 FEET ALONG THE PARCEL LINE TO THE NORTHEAST CORNER OF SAID PARCEL;

THENCE SOUTH 88°52'42" WEST 128.868 FEET ALONG THE PARCEL LINE TO THE SOUTHWEST CORNER OF SAID PARCEL, AND THE POINT OF BEGINNING.

MONUMENT AT INTERSECTION OF
MAIN STREET AND 200 SOUTH STREET



H A
HILL & ARGYLE, Inc.
Engineering and Surveying
181 North 200 West, Suite #4, Bountiful, Utah 84010
(801) 286-2256 Phone, (801) 286-3883 Fax



PAUL HOLMES

180 EAST 200 SOUTH
LOCATED IN THE SOUTH 1/2, BLOCK 20, PLAT "A", CENTERVILLE TOWNSITE SURVEY
CENTERVILLE CITY, DAVIS COUNTY, UTAH

[illegible]