

CENTERVILLE CITY PLANNING COMMISSION AGENDA

NOTICE IS HEREBY GIVEN THAT THE CENTERVILLE CITY PLANNING COMMISSION WILL HOLD ITS REGULAR PUBLIC MEETING AT 7:00 P.M. ON WEDNESDAY, FEBRUARY 13, 2013, AT THE CENTERVILLE CITY COMMUNITY CENTER AND CITY HALL CHAMBERS, 250 NORTH MAIN STREET, CENTERVILLE, UTAH. THE AGENDA IS SHOWN BELOW.

Meetings of the City Council of Centerville City may be conducted via electronic means pursuant to Utah Code Ann. § 52-4-207, as amended. In such circumstances, contact will be established and maintained via electronic means and the meeting will be conducted pursuant to the Electronic Meetings Policy established by the City Council for electronic meetings.

Centerville City, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance, including hearing devices. Persons requesting these accommodations for City-sponsored public meetings, services, programs, or events should call Blaine Lutz, Centerville Finance Director, at 801-295-3477, giving at least 24 hours notice prior to the meeting.

A notebook containing supporting materials for the business agenda items is available for public inspection and review at City Hall and will be available for review at the meeting. This agenda is also posted on the City's website: www.centervilleut.net.

Tentative - The times shown below are tentative and are subject to change during the meeting.
Time:

- | | | |
|-------------|-----------|---|
| 7:00 | A. | Welcome and Roll Call |
| | B. | Opening Comment / Legislative Prayer |
| | C. | Minutes Review and Acceptance – January 23, 2013 |
| | D. | Commission Business |
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 | | |
| 7:05 | 1. | PUBLIC HEARING PINEAE GROWER'S OUTLET 300 SOUTH MAIN STREET
Consideration of a conditional use permit (with expiration) for Pineae Grower's Outlet to operate a garden center at the corner of 300 South Main Street, in the C-M Zone. Jeff Gold, Applicant |
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| 7:20 | 2. | PUBLIC HEARING WASATCH RUNNING CENTER 782 WEST PARRISH LANE
Consideration of a conceptual site plan for Wasatch Running Center, to operate a retail shoe store, to be located in the island behind Iggy's, 782 West Parrish Lane, in the C-VH Zone. Glen Gerner, WRC Assets, Applicant |
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| 7:40 | 3. | PUBLIC HEARING CHICK-FIL-A RESTAURANT 552 NORTH FRONTAGE ROAD
Consideration of a conceptual site plan for Chick-Fil-A Restaurant, to operate a new location with drive-through, to be located at 552 North Frontage Road, in the C-VH Zone. Robert Lombardi, 4G Development & Consulting, Inc., Applicant |
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| 8:00 | 4. | PUBLIC HEARING WOODS PARK SUBDIVISION 2250 NORTH 800 WEST
<div style="border: 1px dashed black; padding: 5px; margin-top: 5px;">DEVELOPER HAS REQUESTED TO TABLE THIS ITEM UNTIL FEBRUARY 27, 2013</div> |
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 | | |
| 8:05 | 5. | COMMUNITY DEVELOPMENT DIRECTOR'S REPORT
a. Upcoming Meetings <ul style="list-style-type: none">• PC Meeting February 27, 2013: Woods Park Subdivision; MTC 2nd Bldg & Parking Structure |
|
 | | |
| 8:10 | E. | Adjournment |

PLANNING COMMISSION MINUTES OF MEETING

Wednesday, January 23, 2013

7:00 p.m.

A quorum being present at Centerville City Hall, 250 North Main Street, Centerville, Utah. The meeting of the Centerville City Planning Commission was called to order at 7:00 p.m.

MEMBERS PRESENT

Kent Holbrook

Scott Kjar

Steven Markham

Kevin Merrill, Chair

Debra Randall

MEMBERS ABSENT

Tamilyn Fillmore

Brian Holman

STAFF PRESENT

Corvin Snyder, Community Development Director

Lisa Romney, City Attorney

Kathy Streadbeck, Recording Secretary

PLEDGE OF ALLEGIANCE

OPENING COMMENT/LEGISLATIVE PRAYER

Commissioner Randall

MINUTES REVIEW AND APPROVAL

Minutes of the Planning Commission meeting held January 9, 2013 were reviewed. Commissioner Kjar made a **motion** to approve the minutes as written. The motion was seconded by Commissioner Randall and passed by unanimous vote (5-0).

PUBLIC HEARING – GENERAL PLAN AMENDMENT, CHAPTER 12-490, MODERATE INCOME HOUSING PLAN (Tabled from January 9, 2012) - Consideration of a General Plan Amendment, Chapter 12-490, Moderate Income Housing Plan; which consists of a significant reassessment of the City's "moderate income housing" element. Centerville City, Applicant.

Cory Snyder, Community Development Director, highlighted the major changes made to the proposed Moderate Income Housing Plan because of discussions from previous Planning Commission meetings. He reviewed the additions to Section E (page 3) which contain Guiding

1 Principles for the plan. He reviewed the Estimated Future Need table (page 8). He said it was
2 discussed at the last meeting that this table be calculated using County data. However, upon
3 further research it was found that County data is not compiled as believed. Therefore, this table
4 was created using information more specific to Centerville and its unique needs. The newly
5 created table shows the estimated future need for moderate income housing specific to
6 Centerville and their market share. Mr. Snyder said he spoke with Commissioner Fillmore
7 regarding the table and she was accepting. He also said he included a statement regarding
8 accessory dwellings (page 14, 6-D.4) even though there seemed to be mixed feelings regarding
9 this issue at the last meeting.

10
11 The Commission reviewed the proposed Moderate Income Housing Plan page by page.
12 The Commission made several non-substantive changes including spelling, punctuation, and
13 numbering. The Commission also recommended that "c" of the Future Policy Considerations
14 (page 7) be replaced with a more generic statement so that it matches the Future Need Table
15 (page 8). A majority of the Commission also agreed with the statement regarding accessory
16 dwellings. Commissioner Holbrook said this statement only allows the option, it does not
17 require. If accessory dwellings are studied and found to be unacceptable there is still the option
18 to disallow.

19
20 Chair Merrill opened the public hearing. There was no comment; he closed the public
21 hearing.

22
23 Commissioner Holbrook made a **motion** to recommend approval to the City Council the
24 Moderate Income Housing Plan, Chapter 12-490, as provided by staff and amended tonight. The
25 motion was seconded by Commissioner Randall and passed by unanimous roll-call vote (5-0).

26
27 **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT**

- 28
29 1. The next Planning Commission meeting will be held on February 13, 2013.
30 2. Upcoming Agenda Items
31 • Pineae Grower's Outlet CUP
32 • Wasatch Running Center
33 • Woods Park PDO
34 • Chick-Fil-A
35 3. Agenda 21 overview

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37 The meeting was adjourned at 8:30 p.m.
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Kevin Merrill, Chair

Date Approved

Kathleen Streadbeck, Recording Secretary

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 1**

**PROPERTY OWNER: BRUCE PITT
 252 RICKS CREEK CIRCLE
 CENTERVILLE, UT 84014**

**APPLICANT: JEFF GOLD
 1635 NORTH 200 WEST
 CENTERVILLE, UT 84014**

**PROPERTY: 300 SOUTH MAIN STREET
 CENTERVILLE, UT 84014**

ACREAGE: 1.5

ZONING: COMMERCIAL-MEDIUM (C-M)

APPLICATION: CONDITIONAL USE PERMIT

BACKGROUND

Since 1997, the Pineae Grower's Outlet has applied for a temporary use permit for the operation of a seasonal garden center located at 300 South Main Street. On February 11, 2004, the Planning Commission approved a conditional use permit to meet the requirements of the new Zoning Ordinance. According to the February 2004 Meeting Minutes, the Planning Commission approved the conditional use permit to expire and be renewed every four years, instead of renewing it each year as it had been done in the past. Aric Jensen, Community Development Director during this time, stated the change was to alleviate any burden on staff and the Planning Commission. Therefore, the City has continued to follow this approval process.

In December of 2007, the request was reviewed and tabled by the Commission in order for the applicant to clarify the following issues:

- Landscaping buffer along the east property line
- Detail regarding watering and drainage
- The dumpster location and screening
- Portable restroom location and maintenance

- Dust Control
- Storage facility location

Jeff Gold revised the site plan, adding the detail the Commission requested. On February 13, 2008, the Planning Commission approved a conditional use permit with an expiration date of December 31, 2012. Recently, the City has received an application from Jeff Gold for a renewal of the conditional use permit. The garden center will operate from April through October, with pumpkin and produce sales in the fall, and Christmas trees sold November through December. Although staff believes that both the sale of produce and Christmas trees are an accessory use, different individuals other than the Gold's sell them, which will require each individual to receive their own permit.

Clarification

Although a conditional use permit generally runs with the land, the Planning Commission may also specify an expiration for the permit [12-21-100(g)(2)]. A conditional use permit with an expiration date is different from a temporary use permit. A temporary use permit may only be used as long as the retail area is less than 200 square feet [12-56-040(a)(9)]. In addition, the temporary use permit may only be used for specific uses found in Chapter 12-56 of the Ordinance; which a garden center is not one of the specified uses. Section 12-21-100(e)(1) of the Zoning Ordinance states, "A conditional use permit may be issued only when the proposed conditional use is allowed by the zone where the conditional use will be located..." According to the Table of Uses Allowed [12-36], a garden center is permitted within the Commercial-Medium (C-M) Zone, with a conditional use permit.

CONDITIONAL USE PERMIT REVIEW 12-21-100

Evidence

12-21-100(e)(3)(A-D)

The proposed use for the property as a garden center has been established on this property since approximately 1997. Since that time, Pineae Grower's Outlet have made several improvements such as paving the majority of parking, landscaping along Main Street, placing fencing around the nursery and adding a greenhouse. The applicant is not planning on any additional changes to the property and desires to follow the submitted site plan dated January 10, 2013. Pineae has provided a service of horticultural specialties to the community for several years. By doing this, they have proven there is a need for a garden center within the City.

The General Plan places the Pineae Grower's Outlet within the "Traditional Main Street Area" as part of the South Main Street Corridor [12-480-7(7)]. The goal for this area is to create a central commercial district that is more pedestrian friendly with building close to the street and parking lots behind the buildings. Street trees and more traditional building material on all new buildings, are also preferred. Although the Pineae Grower's Outlet remains commercial, it does not meet all the requirements of the General Plan. However, staff believes the temporary use has already been established for several years and Pineae has made necessary improvements to match the existing appearance of Main Street under the 2003 Code. In addition, the use is temporary in nature and the property owner could develop the

property into a permanent use at any time. This conditional use permit review, is not an initial review, it is basically a check-up to see if the Pineae Grower's Outlet is still compatible with the area and to receive a renewal for another designated time-frame.

Factors of Approval 12-21-100(e)

(A-D, F) Suitability, Harmony with Existing Development, Other CUP's in the Area, Economic Impact

A garden center has been established at this location since 1997, indicating that Pineae is dedicated to Centerville and the Main Street location. It appears to meet a need for a garden center for the community. It is located within a commercial district, which allows a garden center with a conditional use permit (Table 12-36). On the north, south and west side of the property, commercial businesses are located, and to the east, residential. In years past, the applicant placed tree stock along the east property line, which gives a natural green buffer for the east property. No other similar conditional use permits are found on Main Street for a garden center or a temporary use. However, along Main Street, there are five active conditional use permits. Two of the permits relate to planned unit developments, the others are for a restaurant, an auto dealership and an auto repair service. Since Pineae is the only garden center in the area and has been operating at this location for 16 years, it appears they do not have a negative economic impact on the surrounding area.

(E, G-H) Aesthetic Impact, Utilities, Adequate Parking, Circulation, Landscaping

Within the last few years, Pineae Grower's Outlet has vastly improved the appearance of their site. In December of 2007, the aesthetic appearance, and parking were an important issue. This was one of the reasons why the application was tabled. Yet, the applicant came back in February of 2008 with all the concerns addressed. Today, full landscaping is adjacent to Main Street and the majority of the parking lot is completely paved. All the fencing and structures are well maintained and the area is kept clean at all times. The plans indicate that 29 parking stalls have been designated, which meets the parking requirements for a garden Center. In addition, Jason Pitt, whose family owns the dental office to the north, has submitted a letter to City Staff authorizing the use of their parking lot on Friday and Saturdays. With this extra parking provided, the total for weekends would be 60 stalls. Two driveways are located on 300 South, which in 2008 was found to be adequate circulation. The property also utilizes necessary utilities such as water and electricity. The site does not have a formal restroom facility, yet uses a portable toilet on the northeast of the property that is cleaned on a regular basis. The location in 2008 was found to be an adequate distance from all neighboring residential properties. Finally the Drainage and Utility Supervisor in 2008, found the lot to have sufficient drainage on the property. Since nothing has changed, the drainage is still considered adequate.

(I-K) Safe Guards to mitigate: Health, Safety, Welfare, Noise, Glare, Dust, Odor

The applicant has created a storage area in the southwest corner of the lot for pots, soil and extra equipment. No storage shall be located staked within the parking lot area, including the gravel parking. No storage must be stacked along Main Street or along the east property line adjacent to the residential lot. The dumpster area must also remain screened and clean at all times. Watering and stocking must be done during the regular business hours or starting no

earlier than 6:00 a.m. and no later than 9:00 p.m. [The Centerville Municipal Code 13-30-3-01(b)]. All deliveries must be completed on site and not on any public right-of-way. The area does not produce a large amount of dust, since the majority of the parking has been paved and the rest of the site is graveled and heavily watered. Other safety factors have been addressed, with a fire hydrant directly across the street on 300 South. Site lighting is not necessary during the summer hours, since they will close at 8:00 p.m. The proposal for a garden center on Main Street and 300 South will be for the selling of outdoor plants and garden material. The applicant will not be utilizing the space to produce or sell anything that may harm or affect the health, welfare or the safety of the City or persons owning this property.

CONCLUSION

In a recent letter, Mr. Gold stated that he would be open from 8:00 a.m. to 8:00 p.m., Monday through Saturday, March through October. They would have eight to ten employees from April through July, and three to four employees from August through October. Within the past four years, the City has not had any complaints against the Pineae Grower's and after researching the proposal for a conditional use permit for the property located at 300 South Main Street, a garden center would be an acceptable use on this property. The applicant has proven they are viable to the City, since they have offered a garden center to the community for over ten years at this location. Since the City does not have any negative impact from the Pineae Grower's Outlet, staff is suggesting the conditional use permit be approved for five years and expire On December 31, 2018

PLANNING STAFF RECOMMENDATION

Suggested Motion for the conditional use permit for Pineae Grower's Outlet, located at 300 South Main Street – I hereby make a motion for the Planning Commission to approve a conditional use permit for Pineae Grower's Outlet at 300 South Main Street, with the following conditions.

1. All professional service fees be paid.
2. The use of a garden center shall be permitted for Pineae Grower's located at 300 South Main Street.
3. This conditional use permit shall expire on December 31, 2018, or when Pineae Grower's Outlet or the property owner no longer desire this use on the lot prior to the 2018 date.
4. Public hours of operation shall be Monday through Saturday, from 8:00 a.m. to 8:00 p.m., as requested by the applicant.
5. Watering, restocking and deliveries shall be limited to the operation hours between 6:00 a.m. and 9:00 p.m. These hours are to be in harmony with the Noise Ordinance found in the Municipal Code Section 13-30-3-01(b).
6. All deliveries shall occur on site and not within the public right-of-way.
7. A 5-foot buffer shall be established along the east fence line, consisting of the nursery's tree stock.
8. The storage of excess product, material, equipment, tools and other non-used items shall be prohibited along Main Street and 300 South. All storage material must be placed within the designated storage area as found on the site plan.

9. No product or unused items shall occupy any designated parking stalls.
10. The dumpster area shall be screened from the public right-of-way and the area around the dumpster shall be kept clean at all times.
11. The portable toilet must be cleaned and maintained on a regular basis.
12. Pineae Grower's Outlet shall be held responsible for compliance with all approvals, cleanliness and maintaining the property in an orderly manner at all times during the twelve-month period.

Suggested Reasons for the Action (Findings):

1. A full application was submitted on January 14, 2013.
2. Under the Table of Uses Allowed [12-36], a garden center is allowed with a conditional use permit.
3. Operational hours are to be in harmony with the Noise Ordinance found in the Municipal Code Section 13-30-3-01(b).
4. Evidence presented for this conditional use permit [12-21-100(e)(3)] indicates no harm will come to the City or surrounding community; as long as the conditions regarding proper BMP detail has been addressed and approved by the Drainage and Utility Supervisor.
5. The applicant has met the requirements found in Section 12-21-100(e)(4) of the Centerville City Zoning Ordinance.

Centerville City;

Pineae Growers Outlet

300 S. Main

Centerville, Ut. Phone 801-299-8485

Hours and months of operation:

8am to 8pm Mon. through Sat.

Feb: set-up

March through Oct. open for business

Employees:

8 to 10 during the main season (April through July)

3 to 4 during the slow seasons (Aug. through Oct.)

RECEIVED JAN 14 2013

PITT

281 SOUTH MAIN ST. CENTERVILLE, UTAH 84014 • OFFICE PHONE 801.295.6192
OFFICE HOURS MONDAY-THURSDAY 7 A.M.-5 P.M. www.PittFamilyDental.com

January 10, 2013

PAK, Inc. gives permission for Jeff Gold to use the parking lot at 281 So. Main, Centerville, Utah for overflow parking for Pineae Nursery on Fridays and Saturdays.

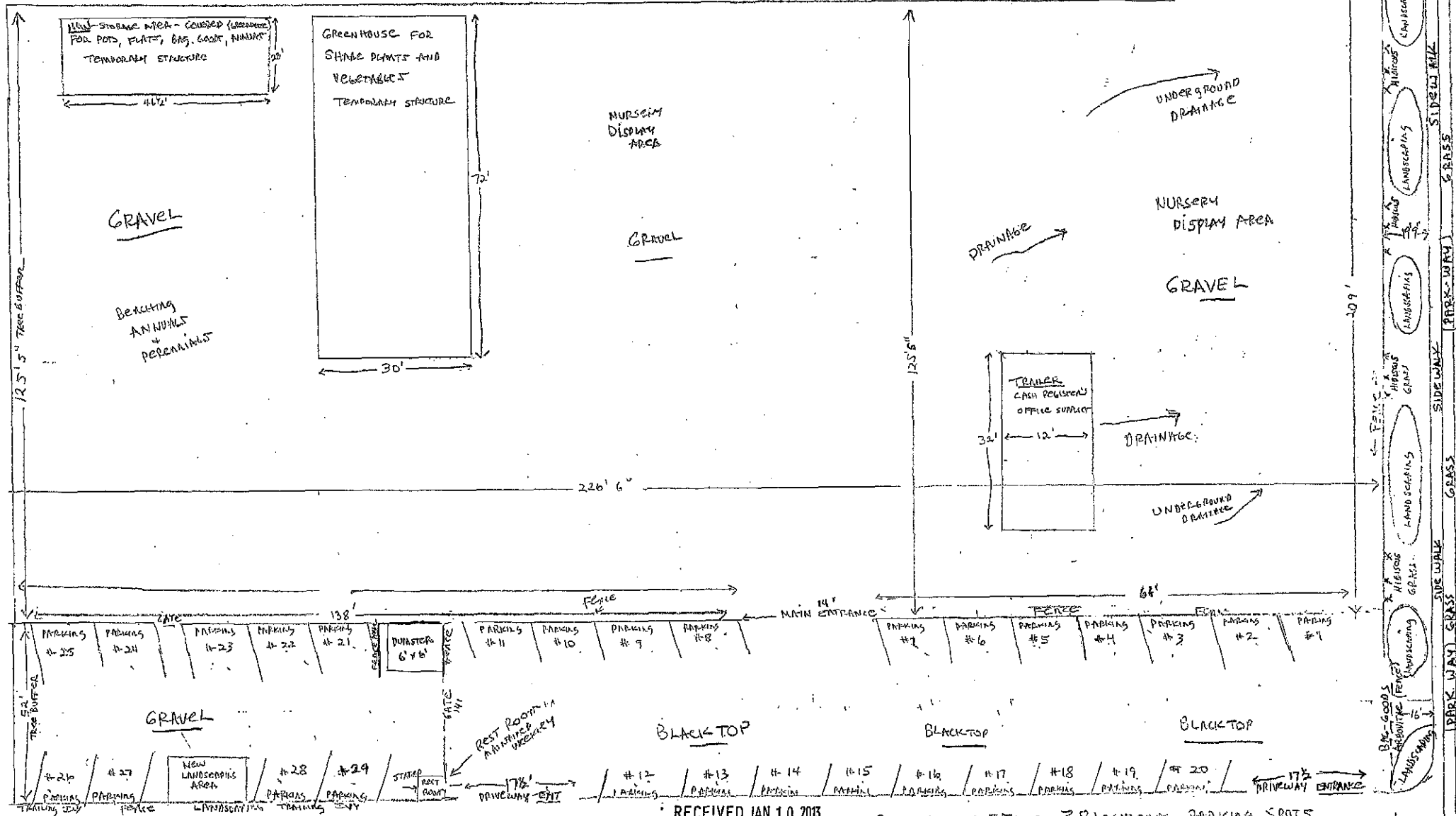
A handwritten signature in black ink, appearing to read "Jason M. Pitt", with a long horizontal flourish extending to the right.

Jason M. Pitt, DDS

RECEIVED JAN 14 2013

O'BRIEN GLASS PROPERTY

PINEH GROWERS OUTLET SITE PLAN 2013



300 SOUTH

RECEIVED JAN 10 2013

DENTAL OFFICE 38 ADDITIONAL PARKING SPOTS

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 2**

OWNER: RUSS MACKEY
MACKEY INVESTMENTS
1377 TOMAHAWK DRIVE
SALT LAKE CITY, UTAH 84103

APPLICANT: GLEN GERNER
190 CLUB HOUSE COURT
NORTH SALT LAKE, UT 84054

PROPERTY: 782 WEST PARRISH LANE

ACREAGE: .56 ACRES

ZONING: COMMERCIAL – VERY HIGH (C-VH)

APPLICATION: CONCEPTUAL SITE PLAN ACCEPTANCE

BACKGROUND

In January of 2008, development on the island parcel adjacent to Market Place Drive, Parrish Lane and the Frontage Road was approved. The approval included an Iggy's Restaurant to the south, and a possible restaurant on the northern portion of the lot. It was determined in 2008 that the second building would be reviewed later by the City when an application was submitted. Recently, staff has received an application for Wasatch Running Center for the conceptual proposal for a retail store specializing in running attire. Although it does not match the original intent of a café style restaurant, staff believes the running center may be a better fit for the island parcel. The applicant is now ready for a conceptual review by the Planning Commission.

CONCEPTUAL SITE PLAN REVIEW & PLANNING STAFF ANALYSIS

C-VH Zone Uses Allowed.

According to the Table of Uses in Section 12-36-1 of the City's Zoning Ordinance, specialty retail is a permitted use in the C-VH Zone. Specialty retail is defined as a retailer that sells a select merchandise line of goods for a particular and usually selective clientele.

General Plan

The Centerville City General Plan indicates this area is within Neighborhood 4, Northwest Centerville [12-480-5]. In relation to commercial development, an appropriate boundary is established along Parrish Lane. It indicates that high to very-high intensity commercial uses must be located within 500 feet of Parrish Lane. Furthermore, the General Plan establishes Parrish Lane as the “dominant commercial center of Centerville” [12-430-2(3)]. Therefore, the General Plan is in support of a retail establishment in this location.

C-VH Zone Development Standards 12-34-1

Development Standards for a Commercial - Very High Zone			
Development Standards	Required	Actual	Compliance
Building Standards			
Distance Between Buildings	6 Feet	142 Feet	Yes
Maximum Height	45 Feet	28 Feet	Yes
Setbacks			
Front	20 Feet	30 Feet	Yes
Street Side Yard	20 feet	25 Feet	Yes
Rear	None	72 Feet	N/A
Side Yard	8/10 feet (Minimum total width of both side yards: 18 feet)	50 Feet	Yes
Side Yard			
Floor Area per Building, Maximum	No Maximum	Main Level: 3,725 SQF Upper Floor: 2,000 SQF (storage)	Yes

Commercial Development Standards**Parking 12-52**

Table 12-52-1, indicates that general retail requires 1 parking space per 250 square feet of gross floor area. The Wasatch Running Center has 3,725 square feet of gross floor sales area that requires 15 stalls. The upper floor, 2,000 square feet, is designated as storage only which requires one space per 1,000 square feet. This will account for two additional required stalls for a total required amount of 17 stalls. It appears that 23 stalls measuring 9' x 20' have been provided; including one handicap stall. Since the Ordinance only requires parking stalls to be measured at 9' x 18,' the applicant may reduce the stall length by two feet. One concern is the effect Iggy's will have on the Wasatch Running Center concerning parking. Yet, in speaking with the applicant, he believes that his busy hours will be different then the restaurant. In addition, staff believes the parking for both users will be sufficient since the island parcel has a parking agreement with the MTC which will allow the Wasatch Running Centers employees and Iggy's employees to park at the MTC.

Landscaping 12-51

The applicant has submitted a site plan showing the general location of landscaping, it appears the applicant will be doing a mix of grass and areas of more drought tolerant plants. Staff is comfortable with the idea, since it adds elements of the Iggy's landscaping along with landscaping similar to In-N-out across the street. However, a more formal landscaping plan is required for the final site plan depicting the following detail:

- Actual location of all vegetation
- Types and number of trees, shrubs and other plantings
- Irrigation plan
- Percentage of overall landscaping and parking lot landscaping

The following is a brief summary of required landscaping detail to be depicted on the final landscaping plans:

Required Landscaping Summary 12-51	
Guidelines	Required
Total Area Landscaping	15%
Total Required Trees	1 Tree per 500 square feet of landscaping
Trees for Street Frontage	1 per 25 linear feet
Building Frontage/Foundation	50%
Total Interior Parking Lot Landscaping	7%
Total Interior Parking Lot Trees and Shrubs	For every six required stalls: 1 tree
	For every six required stalls: 2 shrubs

Screening 12-51-110

According to 12-51-110 of the Zoning Ordinance, the dumpster area must be screened from view by a wall or fence that is at least six-feet in height, provides complete visual screening and be compatible in material and color with the main building. The site plan indicates the location of the dumpster area but does not depict how it will be built and screened. The applicant must show this on the final site plan.

Signage

All signage require a separate permit and must be reviewed by staff for approval at the time a sign permit application has been submitted following Section 12-54 of the Zoning Ordinance. It appears the applicant is proposing wall signage only on the north and south walls. Yet, if the applicant desires more signage, this must be depicted on the final elevation plans.

PARRISH LANE GATEWAY DESIGN 12-63

The General Plan has established Parrish Lane as the “dominant commercial center of Centerville” [12-430-2(3)]. In order to enhance the economic and aesthetic value of the community, the Parrish Lane Gateway Standards have been established. The Zoning Ordinance defines the Parrish Lane Gateway as being: “property that has frontage on Parrish Lane, is part of a larger project that has frontage on Parrish Lane, or has a significant visual presence on Parrish Lane, between Main Street and the Legacy Highway right-of-way” [12-63-020(b)].

Architecture 12-63-040

Articulation 12-63-040(a)

“A building *should* reflect a human scale and be inviting to the public.” This *must* include breaking up the mass of the building with the stepping of the building horizontally and vertically. In addition, the entrance must be accessible from the public sidewalk.

- Staff Response: The building design is very contemporary with a neo-modern design. The structure has been drawn with rectangular forms, straight lines and square bump outs. The articulation is designed in such a way that does not only give architectural relief to the pedestrians but all vehicles traveling on Marketplace Drive, the Frontage Road and Parrish Lane. The applicant has also included a pathway from the sidewalk to the front of the building. They have also connected this path to the crosswalk in the parking lot that connects to Iggy’s that has already been put in place.

Public Amenities 12-63-040(b)

The creation of public amenities to enhance the pedestrians comfort and experience *should* be encouraged.

- Staff response: The site plan does not indicate any public amenities except for the pathway to the sidewalk. Staff would suggest the applicant look at a few options such as benches in front of his store, or an outdoor drinking fountain for runners, walkers and bikers that are passing by or visiting the establishment. The building does have a front canopy and appears to have addressed ADA accessible requirements. Staff also requests that on the outside of the building, decorative lighting be added that draws attention to the modern straight-line style of the building.

Colors and Materials 12-63-040(c)

The color and material used *should* harmonize with the existing and surrounding development by providing *required* architectural upgrades for visual relief.

- Staff Response: Elevations were submitted, yet according to Section 12-63-040(c)(1), a storyboard is required as part of review for the final site plan approval. As mentioned previously the building has a very unique architectural design. The use of glass, panelized rain screen (outer aluminum wall

panels), steel and brick are the main materials on the building. Although the applicant has submitted plans indicating a conceptual color, the applicant will need to indicate the actual colors on the color board provided at the time of Final Site Plan Application submittal. The colors appear to be earth tone in shades of green, tan, orange and grey. Staff believes the architecture is a perfect blend of the surrounding area, yet adds a new modern element to the Parrish Lane corridor. Many of the elements and neo modern style is currently already found along Parrish Lane with the metal panels of Dairy Queen, the long lines and rectangular design of the Legacy apartments and although under a differing approval process, the newly remodeled Wendy's and the Existing MTC Building also have similar elements to the proposed building. The structure has no stucco, yet uses brick to tie in to the island parcel and Iggy's. Staff believes that since this is a retail store and not a restaurant, it should have a unique design, yet still meet the intent of the Parrish Lane Guidelines. It appears the applicant has met the upgrade requirements for a primary facade of 25%, the secondary wall at 15%, and all other walls at 5%. Yet in order to emphasize the architecture, again it is requested that outdoor lighting be placed on the building.

Screening 12-63-040 (d)

Screening *must* be used in order to mitigate the visual impact of utility equipment, service areas and dumpster locations.

- Staff Response: Any roof or wall mounted equipment must be properly screened from view. The applicant will need to show how this will be accomplished at the time of final site plan submittal. This screening should be integrated with the design of the building and should be a part of the building design. In addition, landscaping may be used to satisfy the screening element on the outside of the building. Although the plans indicated the location of the dumpster and how it will be fully screened, more detail is required, such as material, color and height.

Landscaping and Features 12-63-050**Overall Design Concepts 12-63-050(a), Ground Cover 12-63-050(d), Plant Material 12-63-050(e)**

Landscaping found on site *should* contribute to the overall character of the community. The landscaping *must* include pedestrian circulation and an overall design that adds variety and interest.

- Staff Response: Since the submitted plans are conceptual, the landscaping is very general. All requirements in regard to the landscaping will need to be submitted following the criteria found in Chapter 12-51 of the Zoning Ordinance. A summary of these requirements can be found on page

three of the staff report. The original desire of the applicant was to use all drought tolerant vegetation. Although encouraged by the Ordinance, staff believe it didn't entirely contribute to the character of the community. Since the Wasatch Running Center will be sharing the island parcel with Iggy's, it was recommended that some elements be added. However, the Ordinance, therefore as long as 25% of the landscaping is grass or high water plants they will meet the intent of the Ordinance. The new site plan shows grass along the edges of the property, helping it to blend in with Iggy's and drought tolerant vegetation to blend in with the style of In-N-Out Burger. Although more detail is required, staff is supportive of the way the applicant has blended the surrounding style of landscaping with their own ideas. Staff would recommend that in order to add more variety, the grass portions of the landscaping should have a curving motion. The overall design of the landscaping should have a theme that carries throughout the development, including the parking lot. This could include rock features throughout all the planting beds, or the same type of plantings, decorative gravel, or perhaps specific shaped plantings beds.

Great emphasis by the City has been placed within this location for pedestrian circulation. Staff strongly encourages the Wasatch Running Center to emphasize any area that may attract pedestrians to their establishment by using stamped concrete where possible, and enhanced landscaping around pedestrian pathways. As stated in Section 12-63-050(e) of the Zoning Ordinance, vegetation should be selected as to give pedestrians a sense of comfort and safety while enhancing the community image. The applicant has already shown a pathway from the sidewalk to the front of the building, yet will need to indicate specific plantings and locations of all vegetation.

When the island parcel went through previous conceptual approvals, a wall feature on the corner of Parrish Lane and Market Place Drive and Market Place Drive and the Frontage Road was requested. Mr. Gerner will also be required to construct the landscaping feature, in order to blend in with the rest of the development in the immediate area. In addition, extra plantings should be placed around the wall and decorative rock or gravel be used where possible.

Site Grading, Drainage 12-63-050 (b)(c)

Existing land features *should* be kept as part of the design with drainage being integrated in to other landscaping elements.

- Staff Response: The island parcel has already been mostly graded and no natural features will be salvaged. The applicant will need to ensure that all proper drainage and required grading be accomplished, in accordance to all City Standards.

Water Features and Art and Furnishings 12-63-050(f)(g)

A way to enhance the unique character of a development is to add water features, public art or street furniture, which *should* be encouraged on each development.

- Staff Response: The applicant has proposed furnishings in the patio area, but will not be adding other street related furniture. In addition, there is no water or art features that have been proposed. Staff believes that through wall lighting elements, and landscaping features such as decorative rock and gravel, the artistic design of the property is being satisfied. More importantly, it will also be satisfied with the entryway monument wall on the northwest corner and the unique architectural design of the building itself.

Maintenance 12-63-050(h)

Projects *should* demonstrate that maintenance factors have been considered in the landscaping design.

- Staff Response: All of the onsite landscaping must be maintained by the owner. The final landscaping plans must show an irrigation plan has been established.

Off Street Parking – Layout 12-63-060

Surface Parking Lot Design and Overall Design Concepts 12-63-060(a)(b)

Parking *should* be designed to provide sufficient and safe vehicular and pedestrian traffic with minimized curb cuts and enhanced internal landscaping.

- Staff Response: The applicant has indicated the location of parking stalls, drive isles and parking lot islands, that meet and exceed the minimum requirements found in Chapter 12-52 of the Ordinance. The final site plans will need to show the percentage of parking lot landscaping, which must be 7% of the total parking lot area [12-51-070(e)(1)(B)], and the types of vegetation to be planted. As a reminder, they will need to have one tree and two shrubs planted for every six required parking stalls. With the street side berming, landscaping and trees. All ingress and egress has already been constructed with the Iggy's development

Off Street Parking – Lighting 12-63-070

Standards and Lighting Plans

Parking lot lighting *should* be designed to illuminate the parking and loading areas, but decrease the impact on surrounding development.

- **Staff Response:** When the applicant submits the final application, he will need to submit an overall lighting plan. As stated previously, staff is recommending more wall lighting be placed on the building. In addition, the entire parking lot area will need to have lighting. The lights must be designed as to not shine on adjacent properties, yet giving adequate light for pedestrians and vehicles to see potential danger. The mounting height and style must match the Iggy's Restaurant to the south. Finally, the development must have the City's standard light pole for the Parrish Lane area along the street frontage. The applicant will need to work with the Public Works Director on the exact style and location of installment. This location will then need to be depicted on the final site plan.

Streetscape Standards 12-63-070(a)-(i)

Although the development is located along Market Place Drive and the Frontage Road, it is still considered within the Parrish Lane Gateway and will still be *required* to meet all applicable streetscape improvements.

- **Staff Response:** The applicant has not indicated any detail on the streetscape standards and will need to show this information on the final plans. An undulating berm along Market Place Drive and along the Frontage Road is required. Since there is no park strip, this berm must be located on the inside of the sidewalk and must be at least 15 feet wide and no more than two feet wide. Staff suggests that applicant look at Iggy's berm and match the style, height and design. Any pedestrian crossing through the parking lot area must be designated with stamped colored concrete.

Other Development Issues:

The following additional development concerns must be addressed as part of the final site plan application:

- A Soils Report must be conducted and reviewed by the City Engineer.
- All easements and utilities must be shown on the final site plan.
- The applicant will need to work with the City Engineer and the Public Works Director to establish what development fees will still need to be covered.
- A bond must be established for all onsite improvements by the City Engineer and posted by the applicant prior to receiving a building permit.
- The RDA must review the conceptual design to approve a change in the use on the island parcel.
- The property owner and the applicant have expressed a desire to divide the island parcel into two lots. It is recommend that this process be accomplished by Mackey Investment prior to Mr. Gerner receiving final site plan approval. It may however be done simultaneously if the applicant and property owner so desire.

PLANNING STAFF RECOMMENDATIONS**Conceptual Site Plan - Suggested Motion for the Conceptual Site Plan Acceptance:**

PROPOSED ACTION: I hereby make a motion for the Planning Commission to accept the conceptual site plan for the Wasatch Running Center located at 782 West Parrish Lane, with the following conditions:

1. All parking stalls shall be reduced to 9' x 18' to meet City Standards.
2. A soils report shall be submitted to City staff for review and approval as part of the final site plan application.
3. A landscaping plan shall be submitted with the final site plan, following all applicable standards found in Chapter 12-51 and 12-63 of the Zoning Ordinance and shall depict the following detail:
 - a. Location and type of all vegetation
 - b. The total number of trees and shrubs
 - c. Overall landscaping and parking lot percentages
 - d. An irrigation plan
 - e. A decorative wall shall be created on the north-west corner and shall match in style and design to In-N-Out Burger, MTC, Iggy's or something similar
 - f. A undulated berm shall be designed along all street frontages that is 15 feet wide and two foot tall, this berm shall match the existing berm already established on the southern half of the island parcel
 - g. Depiction of a landscaping theme throughout the site that may include, rock features, types of gravel, or specific shape of planting beds. This theme shall have similarities to Iggy's as to blend in with the rest of the island parcel
 - h. Vegetation around all walkways should be emphasized
 - i. At least 25% of ground cover shall be in grass or other high water plants
 - j. All grass areas shall having a curving motion as to add verity to the landscaped areas
4. Screening detail shall be depicted as part of the final site plan submittal, indicating that all ground and roof-mounted equipment have been properly screened from view.
5. Public amenities, such as a bench or outside drinking fountain should be considered to enhance the pedestrian experience.
6. To emphasize the unique architecture of the building, decorative lighting should be added to the building.
7. Parking lot lighting shall be depicted on the final site plan and shall match that of Iggy's
8. Streetscape Standards such as street trees and pedestrian lighting shall be depicted on the final site plan and shall meet the required City Standards.
9. All easements and utilities shall be shown on the final site plan.
10. Proper drainage and grading, meeting all applicable City Standards, shall be depicted on the final site plan for review and approval by the City Engineer.
11. The applicant shall meet with the City Engineer and the Public Works Director to establish what development fees still need to be covered.
12. A bond shall be established for all onsite improvements by the City Engineer and posted by the applicant prior to receiving a building permit.

13. The RDA shall review the conceptual design to approve a change in the use on the island parcel.
14. If the property owner and the applicant desire to subdivide the island parcel, this shall be accomplished by Mackay Investment prior to Mr. Gerner receiving final approval; or they may have the subdivision application and the final site plan application reviewed simultaneously.
15. All proposed signage shall be depicted on the final elevation drawings.
16. A storyboard shall be submitted with the final site plan application depicting all colors and materials to be used on the proposed building.
17. The applicant shall submit a final site plan application in accordance with Section 12-21-100 of the City's Zoning Ordinance, which shall be subsequently reviewed and approved by the Planning Commission.
18. All related professional services fees shall be paid to Centerville City.

SUGGESTED REASONS FOR THE ACTION:

1. A complete conceptual site plan application has been submitted [12-21-110(d)(1)].
2. The use of specialty retail is allowed within the C-VH Zone [12-36].
3. With the above conditions being address, the proposed development will meet the Parrish Lane Guidelines [12-63].
4. A final site plan shall be required prior to any onsite construction taking place [12-21-110(e)(1)].



The Wasatch Running Center is a specialty running (walking/fitness) store with a limited selection of triathlon apparel and accessories. WRC Sandy has been in business for nine years and does about \$2 million per year in sales with a 5-mile radius population a bit larger than the Centerville Parrish Lane parcel on which I hope to put WRC Centerville. There is little indirect competition and less direct competition in the area, which makes Centerville an ideal location for a Wasatch Running Center.

The Wasatch Running Center offers top quality running and fitness products and the highest levels of service and expertise to help customers get the right products and guidance to make running (and walking) exercise more effective and enjoyable. WRC Sandy has been at its current location for nine years with five full-time staff and seven part-time staff, and we're growing every year. Our combined full-time staff has over 50 years running biz experience, and over 100 years running experience. A WRC location on Parrish Lane in Centerville would compliment and add to the business mix in the area by bringing in more tax revenue from current business customers and by drawing new customers to the area. Runners tend to be more healthy, active, educated, and affluent than the average population and Centerville is a great community. For these reasons I am requesting permission and authorization to put a Wasatch Running Center at Parrish Lane, Centerville next to Iggy's Sports Grill.

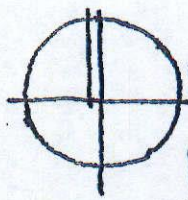
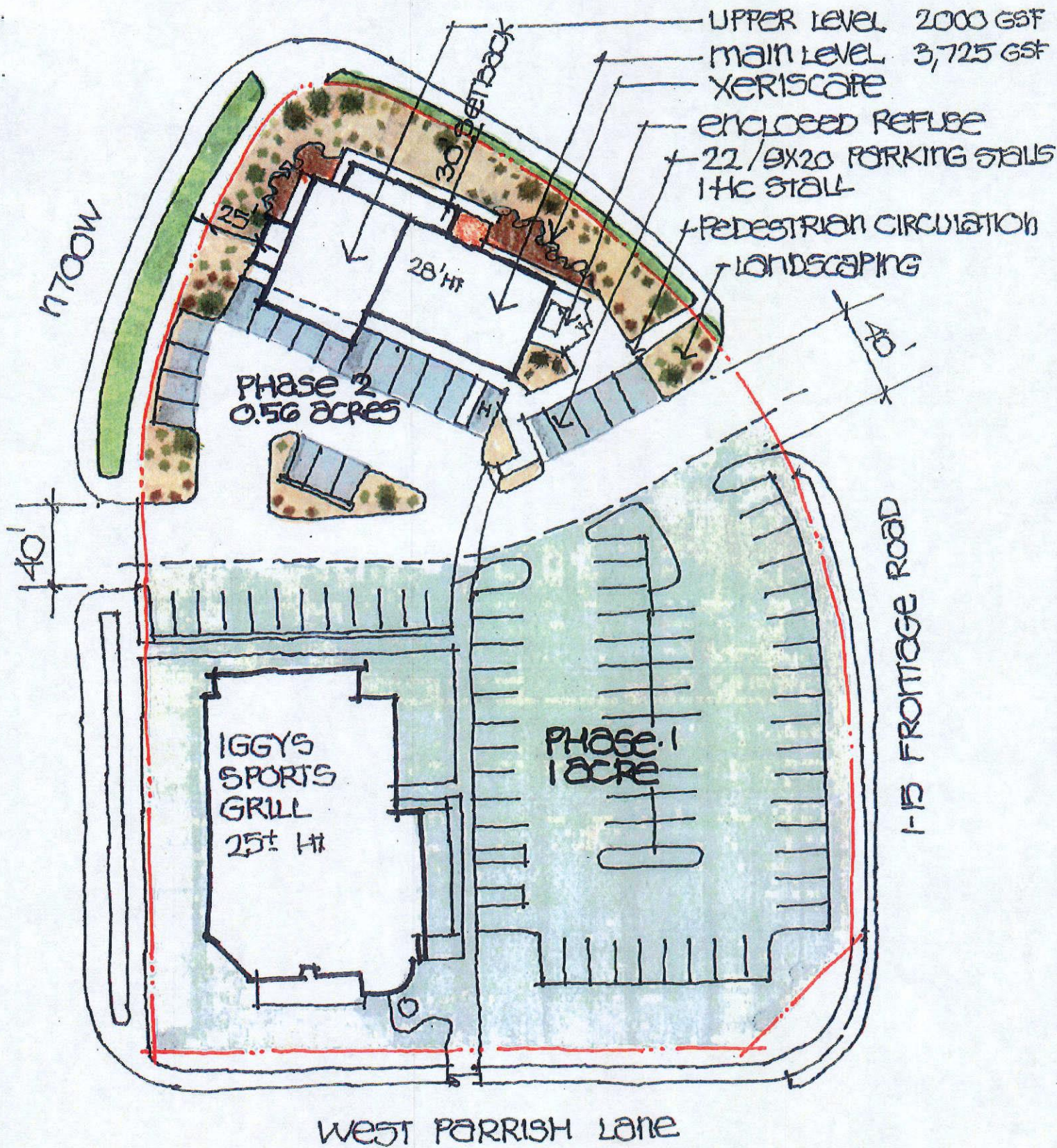
I propose a 6,000 sf building on the 4,000 sf building envelope on .56 acres next to Iggy's Sports Grill, 782 West Parrish Lane. The 4,000 sf main floor would be sales floor, stock room, and restrooms, with the second floor containing offices, break room, and storage space. The additional 2,000 sf beyond the 4,000 sf pad should not require additional parking spaces required by Centerville City for this commercial parcel. We are in negotiations with Iggy's for cross easement and shared parking during the busiest hours for each business.

As a south Davis County resident, I would love to have a WRC Centerville close to my home and close to my running neighbors.

With appreciation,

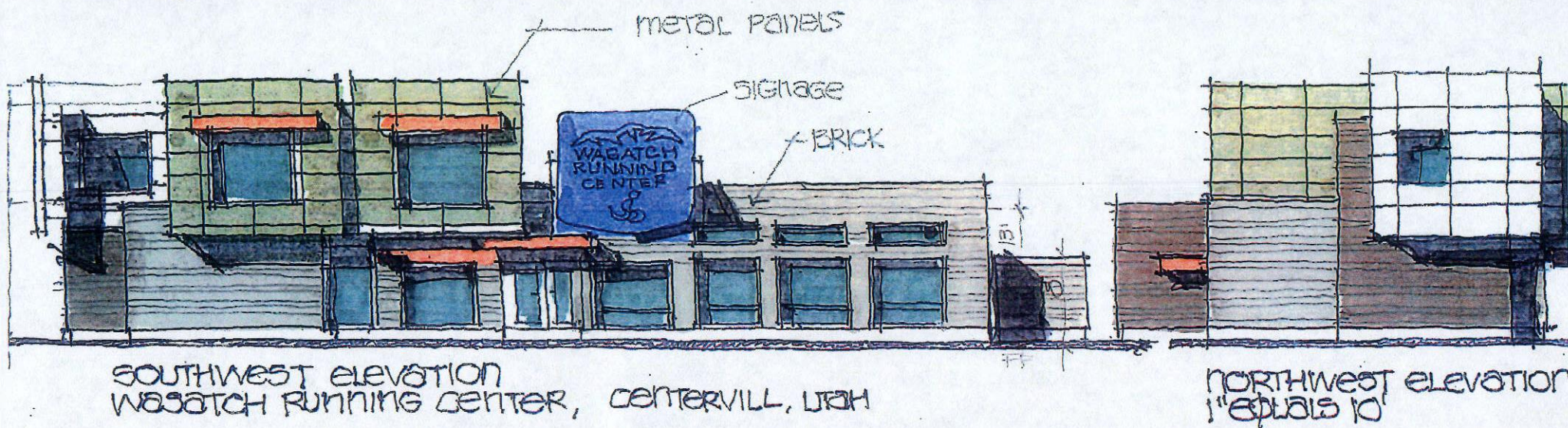
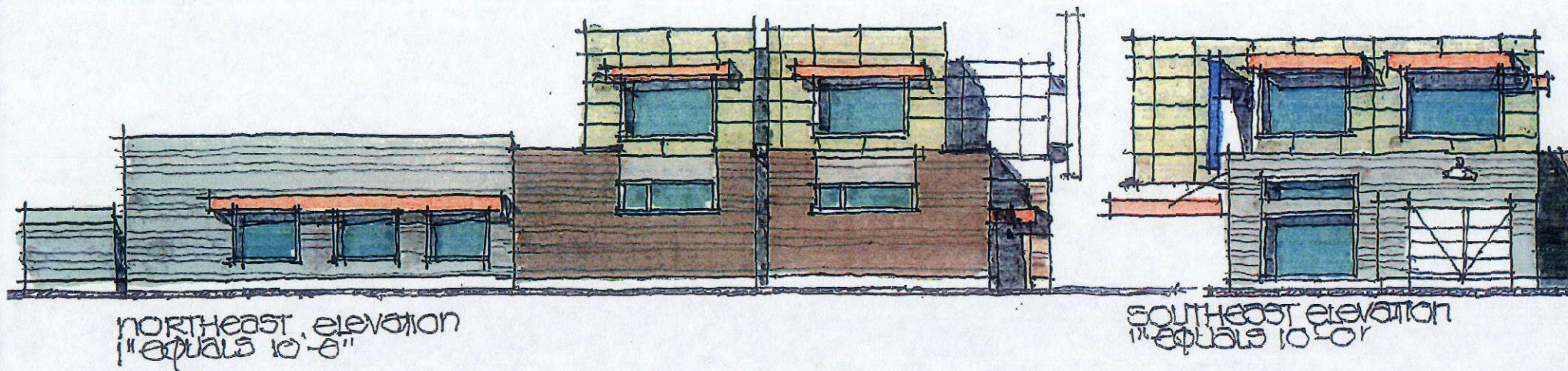
Glen Gerner
Owner
Wasatch Running Center
8946 South State Street
Sandy, Utah 84070
801-566-8786 Store
435-901-9041 Mobile

Attached: Renderings of WRC Davis County



SITE PLAN / WASATCH RUNNING CENTER CENTERVILLE, UTAH

PHASE 2 0.56 ACRES	
main level	3,725 GSF
UPPER LEVEL	2,000
TOTAL	5,725 GSF
1" equals 60'-0"	



**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 3**

PROPERTY OWNER: DAYTON WEST, LLC
500 NORTH MARKET PLACE DRIVE
CENTERVILLE CITY, UT 84014

APPLICANT: ROBERT LOMBARDI
4G DEVELOPMENT & CONSULTING, INC.
P.O. BOX 270571
SAN DEIGO, CA 92198-2571

PROPERTY: 02-184-0002 (MARKET PLACE CORPORATE PARK)

ACREAGE: .87 ACRES

ZONING: COMMERCIAL – VERY HIGH (C-VH)

APPLICATION: CONCEPTUAL SITE PLAN ACCEPTANCE FOR CHICK-FIL-A RESTAURANT

BACKGROUND

The applicant, 4G Development, desires to build a fast-food restaurant on property that was recently divided within the Centerville Corporate Park Subdivision (aka: Management Training Corporation site). The site is located on Market Place Drive, just across the street (northwest) of the Island Parcel (aka: Iggy's Restaurant). The developer desires to receive conceptual site plan acceptance. A conditional use permit and final site plan will be submitted shortly thereafter. The developer has indicated that they desire to open a Chick-Fil-A Restaurant this coming December.

CONCEPTUAL SITE PLAN 12-12-110(d)

Table of Uses Allowed 12-36 – Within the Zoning Ordinance, the Table of Uses allows a fast-food restaurant with a conditional use permit in the Commercial Very-High Zone [12-36]. The conditional use permit will be applied for at the time of the final site plan application. Within Chapter 12-12 of the Zoning Ordinance, a fast-food restaurant is defined as the following:

An establishment that sells ready-to-eat food and beverages quickly, and has one (1) or more of the following:

- (a) Food and beverage orders are not taken at the customers table;
- (b) Food and beverages are generally served in disposable wrapping or containers;
- (c) Food and beverages are offered directly to the customer in motor vehicles from a "drive-up" service window.

General Plan

The Centerville City General Plan indicates this area is within Neighborhood 4, Northwest Centerville [12-480-5]. In relation to commercial development, an appropriate boundary has already been established along Parrish Lane. It indicates that high to very-high intensity commercial uses must be located within 500 feet of Parrish Lane. Furthermore, the General Plan establishes Parrish Lane as the “dominant commercial center of Centerville” [12-430-2(3)]. Commercial development according to the General Plan, is necessary in generating needed revenue for necessary municipal services. Finally, commercial development in appropriate locations provides a needed service common to residential lifestyles [12-430-1]. Therefore, the General Plan is in support of a proposed fast-food restaurant at this location.

Development Standards

The site location is 0.87 acres, with the plans indicating the proposed Chick-Fil-A building being 4,754 square feet. Staff has reviewed the plans and found the building would likely meet the development standards within the C-VH Zone.

CHICK-FIL-A Development Standards 12-34-1			
Development Standard	Required	Actual	Compliance
Building Standards			
Maximum Height	45 Feet	26 Feet	Yes
Setbacks			
Front	20 Feet	25 Feet	Yes*
Rear	None	40 Feet	Yes*
Side	8 Feet Minimum total width of both side yards: 18 feet	South: 28 Feet North: 87 Feet	Yes*
Site Standards			
Buildable Area Minimum	No Requirement		
Floor Area per Building, Maximum	No Requirement		
Table Notations	* Rough Scaled Measurements		

C-VH Zone Commercial Development Standards**Parking 12-52**

Table 12-52-1, indicates that a fast-food restaurant is required to have one (1) parking space per 100 square feet of gross floor area. With Chick-Fil-A being 4,754 square feet, they are required to have 48 parking spaces. It appears they have exceeded this amount with 55 standard parking stalls measured at 9' x 18'. Since Chick-Fil-A will have a drive-thru lane, it is also required they have a total of five stacked parking spaces [12-080(d)(4)]. The applicant has fulfilled the requirement by indicating provision of 13 stacked parking spaces on the plans.

Landscaping 12-51

The submitted plans indicate the general location of landscaping and conceptual use of plant materials. Since the property is less than one acre, it will not require that a landscape architect prepare the final plans.

Required Landscaping Summary 12-51			
Guidelines	Required	Actual	Compliance
Total Area Landscaping	15%	19%	Yes
Total Required Trees	1 Tree per 500 square feet of landscaping	16 Trees (12 required)	Yes
Trees for Street Frontage	1 per 25 linear feet	11 Trees (6 required)	Yes
Building Frontage/Foundation	50%	75%*	Yes
Total Interior Parking Lot Landscaping	7%	Not Provided	Undetermined
Total Interior Parking Lot Trees and Shrubs	For every six required stalls: 1 tree	5 Trees (8 required)	No
	For every six required stalls: 2 shrubs	28 shrubs (16 required)	Yes
Notations	* Rough Scaled Measurements		

Screening 12-51-110

A trash receptacle must be screened from view by a wall or fence that is at least six-feet in height. Not only should the wall provide complete visual screening, it should also be compatible with the color and material as the rest of the building. The submitted site plan indicates the location of the dumpster and how it will be completely screened from view; yet does not indicate the material being used nor the height. Additional detail including material, color and height of the walls and gate, will need to be indicated on the final site plans. In addition to the dumpster, any wall or roof-mounted equipment will need to be screened from view of the public street. Upon staff's review of the building elevations, this likely can be accomplished. However, there is no information on the submitted plan addressing the screening of wall-mounted equipment.

Signage

All signing requires separate permits and must be approved by the Zoning Administrator as part of the sign permit application. However, the final site needs to indicate the location of any monument or freestanding signs that might be proposed.

Although not shown, all signs must be within a designated landscaping bed. A monument or free-standing sign must be at least twenty feet back from the property line and meet the size

restrictions of the Zoning Ordinance. In regards to the wall sign, the development is allowed one sign on a primary wall, not to exceed 15% wall coverage, and a secondary wall at 5% wall coverage. If there is a desire for signage on other walls, it may be allowed, as long as the total combined square footage for the other remaining walls are not more than 32 square feet. As a reminder, according to Chapter 12-12 of the Zoning Ordinance, a sign is defined as:

“Any object, device, display, or structure, or part thereof, which uses words, letters, figures, designs, symbols, fixtures, colors, illumination, or a projected image to visually convey a commercial and/or noncommercial message for the purpose of identifying, directing, attracting attention, or making known the subject thereof...”

Therefore, the use of tube lighting on the outside of the building [inferred with the submitted elevations] is considered a type of signage and must be counted as part of the sign package.

PARRISH LANE GATEWAY DESIGN 12-63

The General Plan has established Parrish Lane as the “dominant commercial center of Centerville” [12-430-2(3)]. In order to enhance the economic and aesthetic value of the community, the Parrish Lane Gateway Design Standards have been established by the City. The Zoning Ordinance defines the Parrish Lane Gateway as being, “property that has frontage on Parrish Lane, is part of a larger project that has frontage on Parrish Lane, or has a significant visual presence on Parrish Lane, between Main Street and the Legacy Highway right-of-way” [12-63-020(b)]. The Commission has determined in the past that the Chick-Fil-A site has a significant presence from Parrish Lane and is subject to the Parrish Gateway Design Standards.

Architecture 12-63-040

1. *Articulation 12-63-040(a)* – “A building ought to reflect a human scale and be inviting to the public.” This must include breaking up the mass of the building with the stepping of the building horizontally and vertically. In addition, the entrance must be accessible from the public sidewalk.
 - **Staff Response:** The submitted plans address this issue by showing the elevation schematic of the building. The elevation design of the structure uses the stepping design horizontally and vertically by having towers above the main entrances. This has provided a visual relief in the total mass of the building. In addition, the plans depict a pedestrian pathway directly from the sidewalk to the main entrance of the business. This pathway will need to be five feet wide and consist of colored concrete to give a visual difference between the space for pedestrians and vehicles.
2. *Public Amenities 12-63-040(b)* – The creation of public amenities to enhance the pedestrians comfort and experience ought to be encouraged.
 - **Staff response:** Around the outside of the building on the northeast elevation, a patio area with outdoor seating is depicted. This has greatly added to the public amenities by allowing patrons to eat outside. Decorative canopies have also been placed on the building, making the entryways stand out from the rest of the building. Staff requests that a higher quality trash receptacle, not just a plastic garbage can, be placed on the outside, near the patio seating area. This will help add to the enjoyment of the customers experience, and keep the outside of the building clean. Staff also requests that on the outside of the building, decorative lighting be added. This lighting could be a type of

hanging lighting that shines downward emphasizing the architectural detail and giving light to the patio at night. The idea of additional patio lighting should also be encouraged, in order to enhance the comfort of those who desire to eat outside at night.

3. *Colors and Materials 12-63-040(c)* – The color and material used ought to harmonize with the existing and surrounding development by providing required architectural upgrades for visual relief. Buildings should be constructed primarily with brick, rock, or other maintenance-free material.

➤ **Staff Response:** Building elevations were submitted listing colors and materials, however, according to Section 12-63-040(c)(1), a storyboard is required as part of review for construction within the Parrish Lane Gateway area. The applicant will need to submit this information as part of the final site plan application.

Generally, the building looks as if it matches the surrounding development with earth tone colors and rock veneer. It appears the applicant has met the upgrade requirements for a primary facade of 25%, the secondary wall at 15%, and all other walls at 5%. However, staff does not consider the use of stucco as a primary maintenance-free material. Staff suggests that the building design incorporate an additional lower level wainscot of the rock veneer, similar to what the city required for the In-N-Out Burger site. Additionally, building lighting ought to be used to emphasize the architecture, as has been done for the Iggy's, In-N-Out, and McDonald' sites.

4. *Screening 12-63-040 (d)* – Screening must be used in order to mitigate the visual impact of utility equipment, service areas and dumpster locations.

➤ **Staff Response:** All roof or wall-mounted equipment must be properly screened from view. The final site plan submittal will need to show how this will be achieved. The screening should be integrated with the design of the building and should be a part of the building design. In addition, landscaping may be used to satisfy the screening element for utility boxes and connections on the outside of the building. Although the plans indicated the location of the dumpster and how it will be fully screened, additional detail is needed concerning material, color and height.

Landscaping and Features 12-63-050

1. *Overall Design Concepts 12-63-050(a)* – Landscaping for the site is to contribute to the overall character of the community. The landscaping must include pedestrian circulation and an overall design that adds variety and interest.

➤ **Staff Response:** The overall design of the landscaping is to have a theme that carries throughout the development and in context with surrounding development. Generally, the use of plant materials meets the streetscape elements along Market Place Drive. However, the design is missing the feature elements of other surrounding sites.

The sites of Iggy's, In-N-Out, and MTC, all have a short wall element as part of their landscape design. Staff suggests that such a wall feature be incorporated into the design of this street frontage. This element will not only tie in with surrounding development, it will soften and screen the visual appearance of vehicular stacking at the drive-through

facility along this same frontage. This adds to the visual quality designed by the design guidelines.

2. *Site Grading, Drainage 12-63-050 (b)(c)* – Existing land features are to be kept as part of the design with drainage being integrated in to other landscaping elements.
 - **Staff Response:** The existing site does not have any land features that could be salvaged and remain as an integrated part of the lot
3. *Plant Materials 12-63-050(e)* – The types of plantings ought to be selected in a way to give pedestrians comfort and safety while enhancing the community image. In addition, water conservation is *encouraged*.
 - **Staff Response:** The landscaping plans depict the use of street side trees and decorative planting beds around the outdoor plaza area. Again, staff suggests that a wall feature be incorporated into the design of this street frontage. This element will not only tie in with surrounding development, it will soften and screen the visual appearance of vehicular stacking at the drive-through facility along this same frontage and along the main sidewalk system. This adds to the visual quality desired by the design guidelines.
4. *Water Features and Art and Furnishings 12-63-050(f)(g)*- One desired way to enhance the unique character of a development is to add water features, public art or street furniture, which ought be encouraged on each development.
 - **Staff Response:** The applicant has proposed furnishings in the patio area, but will not be adding other street related furniture. In addition, there are no water or art features that have been proposed. Staff believes that through building lighting elements, upgraded trash receptacles and landscaping features such as decorative rock and gravel, that the artistic design of the property is generally sufficient. More importantly, it will also be enhanced with the staff suggested wall feature with the landscaping along Market Place Drive.
5. *Maintenance 12-63-050(h)* – Projects should demonstrate that maintenance factors have been considered in the landscaping design.
 - **Staff Response:** The site is part of the Centerville Corporate Park Subdivision. The covenants for this development have maintenance of the landscaping as part of the master association for the entire development.

Off Street Parking – Layout 12-63-060

1. Surface Parking Lot Design and Overall Design Concepts 12-63-060(a)(b)

Parking ought to be designed to provide sufficient and safe vehicular and pedestrian traffic with minimized curb cuts and enhanced internal landscaping.

- **Staff Response:** The final site plan will need to show the percentage of parking lot landscaping, which must be 7% of the total parking lot area [12-51-070(e)(1)(B)], and the types of vegetation to be planted. As a reminder, they will need to have one tree and two shrubs planted for every six required parking stalls. With the street side berming, landscaping and trees, and the staff suggested decorative wall feature, the drive-through and parking are will be sufficiently screened from the adjacent streets.

Off Street Parking – Lighting 12-63-070

1. *Standards and Lighting Plans* – Parking lot lighting ought to be designed to illuminate the site, parking, and loading areas. However, such design is not allowed the impact on surrounding development.

- **Staff Response:** The surrounding sites of Iggy's In-N-Out, and McDonald's utilize the approved streetscape lights for the Parrish Lane Area. Such fixtures ought to be used along the Market Place frontage. However internally, the lot is part of the Corporate Park Development and a different parking lot fixture is used within the development. The final site plan will need to address the use of these differing styles of fixtures and any needed shielding to protect the residential uses to the north. An good example of how this can be accomplished is to review the Performing Arts Center lighting design located just to the east of this site.

Streetscape Standards 12-63-070(a)-(i)

Although the development is on the Market Place Drive, it has been previously determined that it is within the Parrish Lane Gateway Area and will be required to meet all applicable streetscape improvements.

- **Staff Response:** The submitted plans address the street trees and landscaping. However, the plans do not address the required berming, streetlights, and sidewalk system relationships. Staff believes that conceptually, the ability to add needed elements are feasible given the proposed conceptual layout of the site.

OTHER SITE DEVELOPMENT CONCERNS

Shared Use of Access Lanes and Parking Area of Adjacent Lot – The conceptual site plan depicts the sharing of these elements between properties. Although the City has received an application for the adjacent lot, it has not been officially reviewed by the City. Staff's review of these sites indicates that each of the parties has not adequately planned for this joint use. Thus, both of these sites are unable to function independently. Thus, any conceptual site plan acceptance needs to acknowledge that final site plan submittals need to coordinate this joint use or be revised to function independently from one another. However, the City's Zoning Ordinances does encourage the joint sharing of access and parking areas to minimize the need for independent access and circulation patterns.

Dumpster Area Location in Primary Access Lane – Staff is concerned that the loading and unloading activities of the dumpster area conflicts with the Corporate Park site circulation patterns for the entire development. The morning, afternoon, and evening circulation times for commuting times as well as the lunch hours may create too much congestion. Thus, staff suggests that the dumpster area be relocated to a more suitable area of the site.

PLANNING STAFF RECOMMENDATION

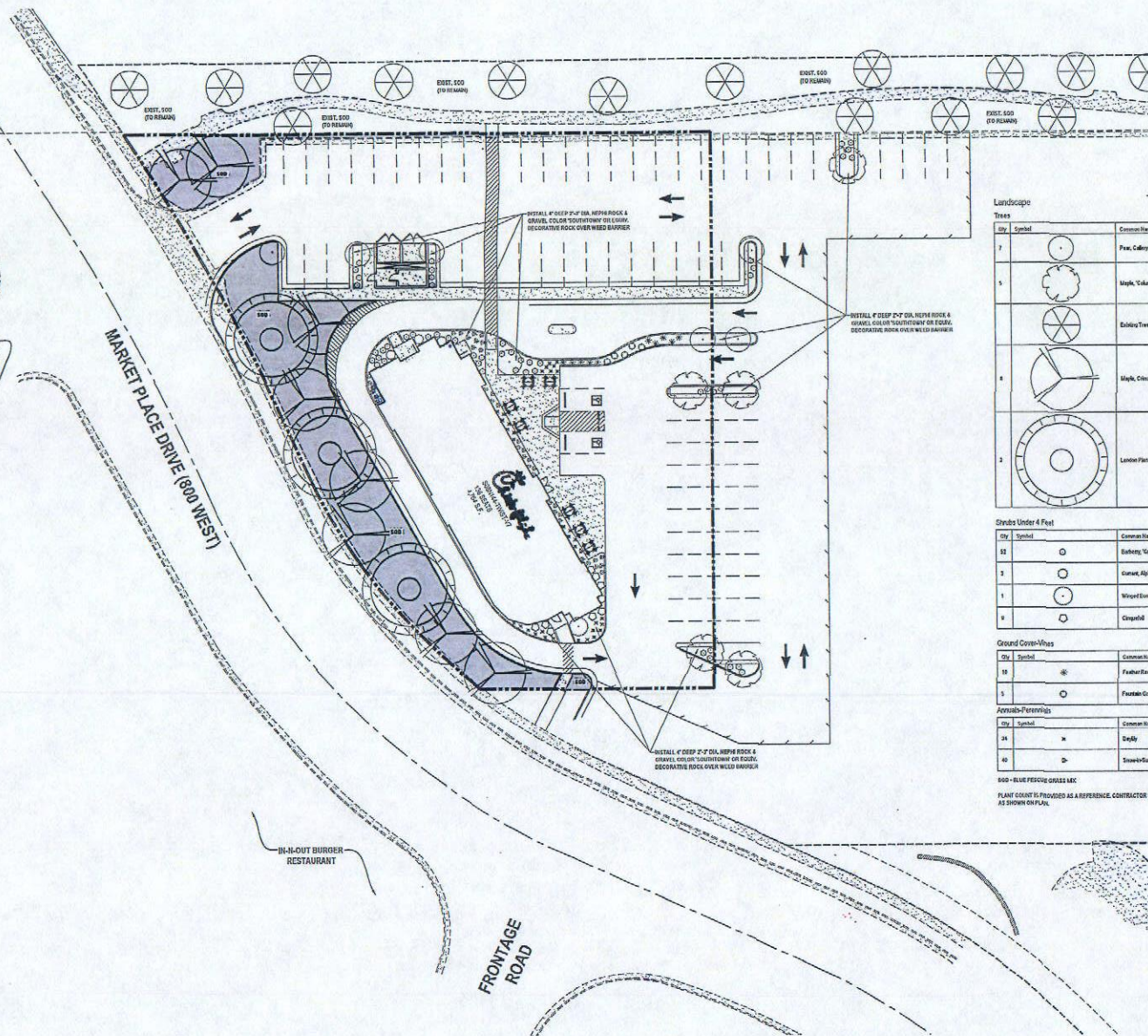
PROPOSED ACTION: I hereby make a motion for the Planning Commission to accept the conceptual site plan for the Chick-Fil-A Restauarnt, with the following directives:

1. The applicant shall submit a final site plan application meeting the standards found in Section 12-21-110(e) of the Ordinance.

2. The applicant shall receive a conditional use permit approval for allowing the fast-food use subject to the standards found in Section 12-21-100 of the Ordinance, prior to or as part of any final site plan submittal.
3. The final site plan submittal shall address the following:
 - a. The dumpster area to be relocated to a more suitable area of the site.
 - b. The dumpster area design including the use of materials, color and height of the walls and gate.
 - c. The screening of any wall or roof-mounted utility service equipment.
 - d. Indicate the location of any monument or free-standing signs that are being proposed.
 - e. The pedestrian pathway's design and use of materials to create a visual difference between the space for pedestrians and vehicles.
 - f. The use of outside decorative lighting fixtures for building, pathway, and patio areas to enhance these public spaces.
 - g. The building design's use of an additional lower level wainscot of the rock veneer.
 - h. The use of a wall feature to be incorporated into the landscaping design along the Market Place street frontage.
 - i. Provide the required percentage of parking lot landscaping and the required types of vegetation that is to be planted.
 - j. The use of differing styles of light fixtures along Market Place Drive and the internal Corporate Park Development area.
 - k. The required Parrish Lane Gateway Design Standards for landscape berming, streetlights, and sidewalk system relationships along Market Place Drive.
4. The final site plan submittal shall coordinate the joint use of the access and parking patterns or be revised to function independently from one another.

SUGGESTED REASONS FOR THE ACTION:

1. The Planning Commission finds that the conceptual site plan submittal has adequately shown how the property may be developed [12-21-110(d)(2)].
2. The Planning Commission's directives provide feedback regarding the standards for developing within the C-VH Zone and the standards of the Parrish Lane Gateway Design Standards of the City's Zoning Ordinance.



ON-SITE LANDSCAPE DATA

TOTAL SITE AREA - 38,841 Sq. Ft.	
LANDSCAPE AREA - 1,662 Sq. Ft.	100%
SITE TYPIC DISCOUNT	1,318 Sq. Ft. 100%
SITE TYPIC TYPIC AREA	1,662 Sq. Ft. 100%
TOTAL TYPIC LANDSCAPE AREA	1,662 Sq. Ft. 100%
BUILD. FRONTAGE LENGTH - 117'	
BUILD. FRONTAGE LANDSCAPING - 117'	100%

Landscape

Qty	Symbol	Common Name	Botanical Name	Plant Size
7	(Symbol)	Frax. Oakley 'Coley Pear'	Frax. Oakleyana 'Coley Pear'	2-10' Cal.
5	(Symbol)	Alnus 'Columba'	Alnus incana 'Columba'	2-10' Cal.
	(Symbol)	Salix Tree (To Remain)	Salix Tree	2-10' Cal.
4	(Symbol)	Alnus, Common Elm	Alnus incana 'Common Elm'	2-10' Cal.
3	(Symbol)	London Plane Tree 'Blackgold'	Platanus occidentalis 'Blackgold'	2-10' Cal.

Grass Under 4 Feet

Qty	Symbol	Common Name	Botanical Name	Plant Size
12	(Symbol)	Stachys 'Common 7'pm'	Stachys recta 'Common 7'pm'	1' Cal.
3	(Symbol)	Alnus, Common Elm	Alnus incana 'Common Elm'	1' Cal.
1	(Symbol)	Winged Elm, Dwarf	Ulmus alatus 'Dwarf'	1' Cal.
4	(Symbol)	Claytonia	Prunella vulgaris 'Claytonia'	1' Cal.

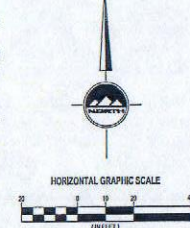
Ground Cover/Vines

Qty	Symbol	Common Name	Botanical Name	Plant Size
18	(Symbol)	Feather Reed Grass 'Tall Prairie'	Calamagrostis canadensis 'Tall Prairie'	1' Cal.
5	(Symbol)	Fourleaf Grass	Plantago lanceolata	1' Cal.

Annuals/Perennials

Qty	Symbol	Common Name	Botanical Name	Plant Size
24	(Symbol)	Daylily	Heisteria	1' Cal.
40	(Symbol)	Stonecrop, Eriogonum	Coronilla laurifolia	1' Cal.

600 - BLUE FESCUE GRASS MIX
PLANT COUNT IS PROVIDED AS A REFERENCE. CONTRACTOR SHALL PROVIDE NUMBER OF PLANTS AS SHOWN ON PLAN.



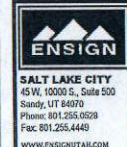
LOCATED IN THE SOUTHWEST QUARTER
OF SECTION 7
AND THE NORTHWEST QUARTER
OF SECTION 7
TOWNSHIP 2 NORTH, RANGE 1 EAST
SALT LAKE BASIN AND MORGAN
CENTERTOWN CITY, DAVIS COUNTY, UTAH



Revisions:

Mark	Date	By
△		
△		
△		

Scale



STORE Name

500 N. MARKET PLACE DR.
CENTERTOWN, UT

SHEET TITLE
PRELIMINARY
LANDSCAPE

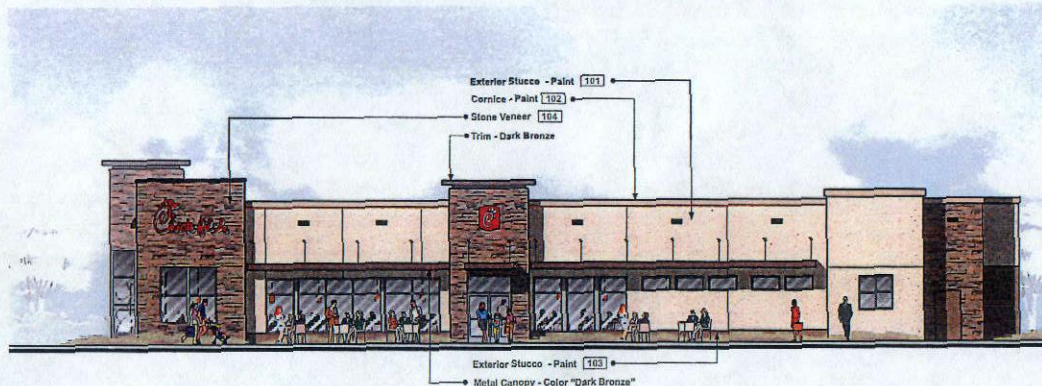
VERSION: 7
ISSUE DATE: 10-2011

Job No. : 12-113
Store :
Date : 02-07-12
Drawn By :
Checked By :
Sheet

L-10



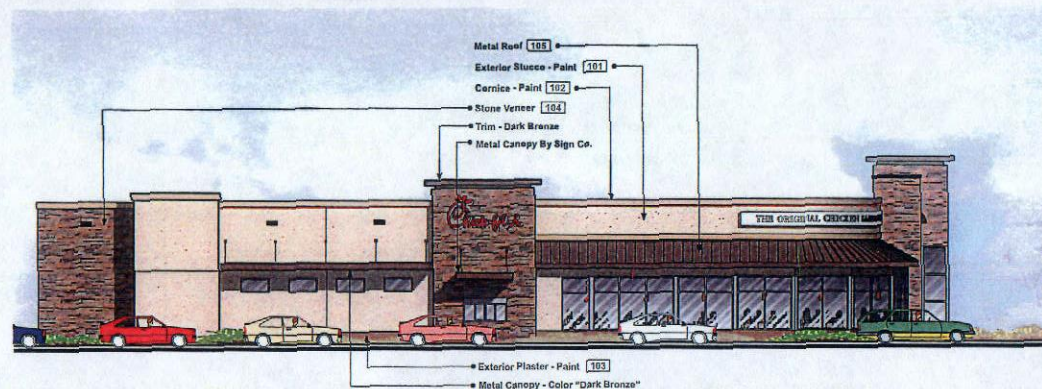
SOUTHEAST ELEVATION



NORTH EAST ELEVATION



NORTH WEST ELEVATION



SOUTHWEST ELEVATION



PRELIMINARY ELEVATIONS
Centerville, Utah

File Name: 12-113E-ALL-1-16-13

1-16-13



Note:
All roof top mechanical equipment shall be located in equipment well and screened from view by parapet walls.

COLOR AND MATERIAL LEGEND

- [101] Paint - Sherwin Williams - #SW6142 "Macadamia"
- [102] Paint - Sherwin Williams - #SW6108 "Latta"
- [103] Paint - Sherwin Williams - #SW2523 "Rockwood Clay"
- [104] Stone Veneer - Coronado Stone - Pro-Jedge - Color "Crossroads"
- [105] Standing Seam Metal Roofing - Snap-Clad Panel - Color "Dark Bronze"

C · R · H · O
Architecture Interior Planning
106 South "C" Street Suite 200
Tucson, California 85710
714.832.1834
FAX 714.832.1910

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