

CENTERVILLE CITY PLANNING COMMISSION AGENDA

NOTICE IS HEREBY GIVEN THAT THE CENTERVILLE CITY PLANNING COMMISSION WILL HOLD ITS REGULAR PUBLIC MEETING AT 7:00 PM ON JANUARY 8, 2020 AT THE CENTERVILLE CITY COMMUNITY CENTER AND CITY HALL COUNCIL CHAMBERS, 250 NORTH MAIN STREET, CENTERVILLE, UTAH. THE AGENDA IS SHOWN BELOW.

Meetings of the City Council of Centerville City may be conducted via electronic means pursuant to Utah Code Ann. 52-4-207, as amended. In such circumstances, contact will be established and maintained via electronic means and the meeting will be conducted pursuant to the Electronic Meetings Policy established by the City Council for electronic meetings.

Centerville City, in compliance with the Americans With Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance, including hearing devices. Persons requesting these accommodations for City-sponsored public meetings, services, programs, or events should call Jacob Smith, Centerville Management Services Director, at 801-295-3477, giving at least 24 hours notice prior to the meeting.

The full packet of backups can be found at <http://centerville.novusagenda.com/agendapublic>.

7:00 PM A. WELCOME AND ROLL CALL

B. PLEDGE OF ALLEGIANCE

C. PRAYER OR THOUGHT

Becki Wright, Commissioner

D. COMMISSION BUSINESS

1. Administrative Decision - Waiver of Strict Compliance, Landscaping - Dave's Complete Auto
 2. Administrative Decision - Public Hearing, Conceptual Site Plan Amendment - Decant Station - 655 North 1250 West
 3. Election of Chair and Vice Chair of Planning Commission
 4. Community Development Director's Report
- Planning Commission Items:
- Next PC Meeting is January 22, 2019

City Council Items:

- Devore Property Rezone from A-L to R-L tabled until 1/7/2020

E. MINUTES REVIEW and ACCEPTANCE

December 11, 2019

F. ADJOURNMENT

CENTERVILLE

Staff Backup Report 1/8/2020

Item No. 1

Short Title: Administrative Decision - Waiver of Strict Compliance, Landscaping - Dave's Complete Auto

Initiated By:

Scheduled Time:

SUBJECT

RECOMMENDATION

Consider approval of Landscaping Waiver of strict compliance.

BACKGROUND

ATTACHMENTS:

Description

- ▢ 01-08-20 PC Staff Report - Dave's Auto Landscaping Waiver
- ▢ Site Plan
- ▢ Landscaping Plan

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 1**

OWNER: MILES BELL, LLC
335 SOUTH FRONTAGE ROAD
CENTERVILLE, UTAH 84014

APPLICANT: DAVID BELL
335 SOUTH FRONTAGE ROAD
CENTERVILLE, UTAH 84014

PROPERTY: DAVE'S COMPLETE AUTO
335 SOUTH FRONTAGE ROAD

ACREAGE: 1.29 ACRES

ZONING: COMMERCIAL – VERY HIGH (C-VH)

APPLICATION: LANDSCAPING WAIVER REQUEST REGARDING A
REQUIRED 30 FOOT BUFFER & LANDSCAPING
PERCENTAGES

BACKGROUND

The applicant, David Bell, proposes to renovate the Dave's Complete Auto located at 335 South Frontage Road. The proposed renovation would add 8,500 square feet to the 12,136 square foot building.

Although the site and buildings were constructed prior to the current zoning ordinance, this proposal to renovate falls under parameters set in Section 12-22-080 of the Zoning Ordinance. This Section states that all development with a 30% floor area expansion shall be brought into conformance with the new standards of the Zoning Ordinance. However, due to physical constraints of the existing developed site, the applicant finds the standards onerous for the existing site. Thus, the applicant is requesting that the Planning Commission consider approving a waiver to the 30-foot landscaping buffer requirement, as allowed by Sections 12-51-050, in addition to a waiver of the 15% landscaping/open space requirement. The applicant desires the waiver in order to comply with the required parking (for which a parking modification is pending the final site plan), which would be difficult with the 30-foot landscaping buffer requirement.

LANDSCAPING WAIVER & PLANNING STAFF ANALYSIS

Required Landscaping Summary CZC 12.51 – 56,523 square feet			
Guidelines	Standard	Proposed	Compliance
Total Area Landscaping	15%	6.4%	NO
Total Required Trees	1 Tree per 500 square feet of <i>required</i> landscaping	7 shown overall (22 Trees Required)	NO
Trees for Street Frontage	1 per 25 linear feet	7 (7 Trees Required)	YES
Building Frontage Foundation along Public Street	50%	% not provided	NO
Total Interior Parking Lot Landscaping	7%	0%	NO
	For every six <i>required</i> stalls: 1 tree	TBD (see Request for Parking Modification)	TBD
	For every six <i>required</i> stalls: 2 shrubs	TBD (see Request for Parking Modification)	
Buffer Landscaping Between Residential and Non-residential Development	30 feet	0 feet	NO
Landscape Architectural Approval	All Sites 1 acre or Larger	1.29 acres – missing required approval	NO
Utility Screening	Must be screened from Public Street View	None (see utility area front north side)	NO
Architectural Buffer	At least 6 feet in height	8 feet CMU wall	YES
Buffer Trees	For every 20 feet of fencing: 1 evergreen tree	0 (13 required)	NO

Landscaping Requirements (12-51-070)

(b) Buffer Landscaping between Residential and Non Residential Development. Landscaped buffers shall be required alongside and rear property boundaries which abut a residential zone.

- 1) Minimum buffer depth shall be as follows:
 - a) In medium intensity (M) zones: 15 feet; and
 - b) In high intensity (H) and very high intensity (VH) zones: 30 feet.
- 2) An architectural buffer at least six feet in height shall be provided within the buffer zone. Such buffer may consist of either a block or concrete wall, fencing, or live plants sufficient to create the desired visual, noise, and aesthetic buffer in accordance with the requirements set forth herein and in accordance with the buffer screening guidelines set forth in the General Plan.

- a) If an architectural buffer consists of a solid fencing or a wall, evergreen landscaping anticipated to grow to more than six feet in height shall be provided at distances sufficient to provide a visual and noise reducing barrier. Such landscaping shall consist of at least one tree for every 20 feet of fencing.
 - b) If an architectural buffer does not consist of a solid fencing or a wall, a sufficient quantity of evergreen trees and shrubs shall be provided which are reasonably anticipated to grow to approximately six feet in height to produce a solid landscape screen through all seasons of the year.
- 3) In addition to plant and tree requirements for architectural buffers, a minimum of one tree shall be provided for every 500 square feet of landscaped area.
 - 4) Artificial plants and landscaping shall not be permitted in the required landscaped buffer areas.
- (c) Foundation Landscaping. Landscaping shall be provided adjacent to any building wall which fronts on a public street as follows:
- 1) At least 50% of the building frontage shall be landscaped; and
 - 2) The minimum width of the landscaped area shall be three feet, excluding any vehicle overhang from an adjacent parking area.

Landscaping/open space is required to be 15% of the project area. This equates to about 10,873 square feet of landscaping for this property. The proposed plan provides approximately 6.4% of landscaped area. The frontage area requires seven (7) trees, and the proposed plan includes seven trees. The applicant has proposed building foundation landscaping along the Frontage Road façade. The on-site landscaping and required trees is to be determined when the applicant's parking modification request is addressed by the Planning Commission. The current plan indicates no on-site landscaping. Lastly, the landscaped buffer area adjacent to residential area is to include thirteen (13) trees and the applicant requests no trees.

Fences and Walls (12-55-110)

The architectural feature (30-foot buffer) requires the use of perimeter fencing along the south and east property lines. The proposed plan indicates that the existing fencing is to remain in these two areas.

Landscaping Waiver of Strict Compliance (Section 12-51-050) - The applicant is requesting a waiver of strict compliance for landscaping authorized by Section 12-51-050(a). "Since site conditions and development constraints may vary greatly among sites, the Planning Commission may approve landscape plans that deviate from strict compliance with the provisions of this Chapter." The current ordinance requires a 30-foot landscape buffer between commercial very high and the adjacent residential zone to the south and east of the site (see Section 12-51-070(b)(1)(B)). This buffer is to include landscaping and a six-foot fence or wall. The applicant has committed on the amended site plan to maintain the current eight-foot wall. The applicant is requesting a waiver of the 30-foot landscaping requirement to allow for more parking stalls, in addition to a waiver of the on-site landscaping. There are three findings required to consider a waiver of strict compliance. The criteria are as follows:

1. ***Preserves the intent of this Chapter and the provision for which a waiver is authorized;***

Staff Conclusion – The applicant has committed to maintain the eight-foot CMU wall as a buffer to the residential zones adjacent to the property. However, staff finds that eliminating the buffer does not preserve the intent of the Chapter. The Chapter specifically calls out evergreen trees and shrubs to provide “a visual and noise reducing barrier.” Staff recommends reducing the buffer, but maintaining the tree requirement put forth in 12.51.070(b)(1)(a). One evergreen tree for every linear 20 feet of buffer needed to preserve the intent to buffer the C-VH land use from the adjacent residential property. Staff recommends reducing the buffer to the Commercial Medium/Residential buffer requirement of fifteen feet.

2. ***The granting of a waiver will not result in an adverse impact on surrounding properties; and***

Staff Conclusion – Eliminating the buffer would adversely affect the residential properties. While a change would not currently alter conditions to the neighbors, an increase in business and noise would alter the neighborhood. In addition, the property to the east is zoned Residential Medium and if it is developed having no visual or noise barrier would affect the property. A reduction in the required buffer size could create the barrier while also minimizing the affect the buffer would have on the circulation of the applicant property parking.

3. ***(a) The strict application of the provision in question is unreasonable or unnecessary for the specific use, design or site proposal given the nature of the proposal or alternate measures proposed by the applicant; or***

(b) The property has extraordinary or exceptional physical conditions that do not generally exist on nearby property in the same zone and such conditions will not allow strict compliance with the all of provisions of this Chapter.

Staff Conclusion – It is the opinion of staff that upgrading the site to install the 30-foot buffer creates problems that would not be resolvable, specifically with site circulation. If the buffer was installed it would eliminate the east parking area. Furthermore, this site has three residential boundaries located to the south and east. A 30-foot buffer along these three boundaries would substantially affect the ability for developing the site. However, staff recommends a 15-foot buffer to maintain the intent of the Chapter. Therefore, the waiver of strict compliance for the required 30-foot buffer, in this particular case, appears to be appropriate.

PLANNING STAFF RECOMMENDATION

Landscaping Waiver - Suggested Motion for the Landscaping Waiver– I hereby make motion for the Planning Commission to approve a waiver of the landscaping requirements for the Dave’s Complete Auto Development located at 335 South Frontage Road, subject to the following:

1. This waiver shall be limited to 30-foot landscaping buffer.
2. The existing eight-foot screening wall shall be maintained along the south and east property boundaries adjacent to the residential zone.
3. The Zoning Ordinance requirement thirteen (13) trees shall remain in effect and the trees shall be depicted and installed as part of a final site plan approval.
4. A buffer of fifteen (15) shall be provided along the Residential zone.

Suggested Reasons for the Action (Findings):

- a. The granting of a waiver will not result in an adverse impact on surrounding properties.
- b. The site has two residential boundaries located to the south and east. A 30-foot buffer along these two boundaries would substantially affect the ability for developing the site.
- c. The ability to reduce the buffer, while improving the existing buffer with additional trees, would be an improvement and help reduce any potential conflicts between the site and the adjacent residential uses.
- d. Upgrading the site to install the 30-foot buffer creates problems that would not be resolvable, specifically with site circulation because if the buffer was installed it would eliminate the east parking area.



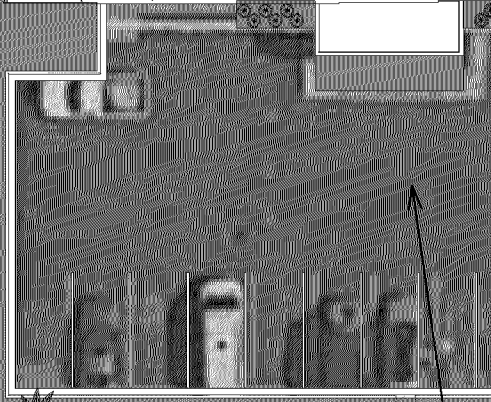
LES SCHWAB TIRE CE
PROPERTY ZONED C-
2.374 ACRES
BUILDING HEIGHT = 2

S 89' 40' 18" W
345.49'

8,500 SF

12,136 SF EXISTING BUILDING
ZONED C-VH

UP

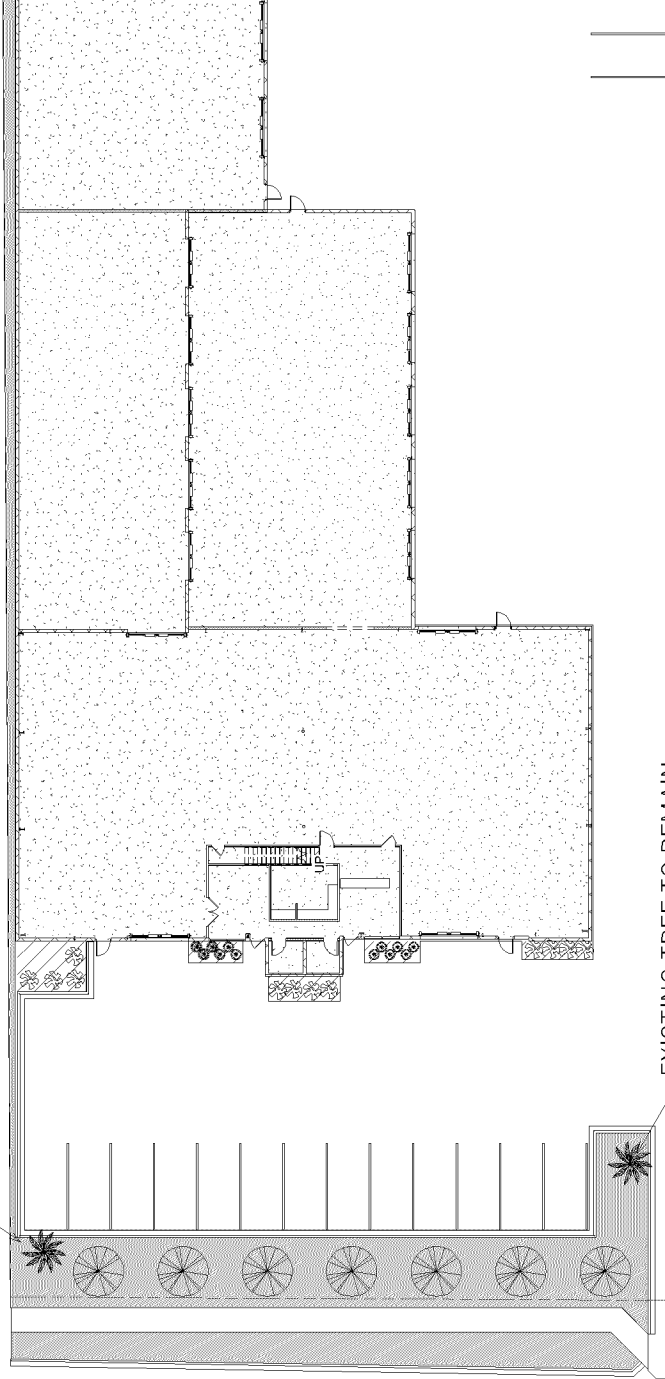


Intersta

PARKING AREA

= 19,334 SF

EXISTING TREE TO REMAIN



CENTERVILLE

Staff Backup Report 1/8/2020

Item No. 2.

Short Title: Administrative Decision - Public Hearing, Conceptual Site Plan Amendment - Decant Station - 655 North 1250 West

Initiated By:

Scheduled Time:

SUBJECT

RECOMMENDATION

BACKGROUND

ATTACHMENTS:

Description

- ▢ 01-08-20 Staff Report Conceptual Site Plan Centerville Decant Station
- ▢ Centerville City Decant Station Conceptual Site Plan Submittal

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 2**

OWNER: **CENTERVILLE CITY
250 NORTH MAIN STREET
CENTERVILLE, UTAH 84014**

APPLICANT: **PUBLIC WORKS DEPARTMENT
c/o RANDY RANDALL
655 NORTH 1250 WEST
CENTERVILLE, UTAH 84014
(rrandall@centervilleut.com)**

PROPERTY: **655 NORTH 1250 WEST
(AKA: PUBLIC WORKS FACILITY)**

ACREAGE: **5.53 ACRES**

ZONING: **PUBLIC FACILITIES – VERY HIGH (PF-VH)**

APPLICATION: **CONCEPTUAL SITE PLAN SUBMITTAL**

RECOMMENDATION: **CONSIDER ACCEPTANCE OF CONCEPTUAL SITE PLAN**

BACKGROUND

The Centerville City Public Works Department proposes to construct a “Decant Station” on a portion of the existing site. The “decant station” will be a large concrete pad and building where city crews can discharge waste material retrieved from cleaning storm drain catch basins and storm water piping systems or cleaning of City trucks. Stormwater drainage systems could contain above normal concentrations of contaminants. The washing of City trucks may contain salts, soils, and other sediments. If left untreated, these sediments could result in contamination to the environment. The decant facility is a place to receive, process and dispose of any contaminants and sediments.

The facility is to be located in the northwest area of the Public Works Facility. This area is currently underdeveloped and often used for miscellaneous storage or left open (*there's no landscaping, asphalt,*



etc.). Therefore, the City's Development Review Committee (DRC) recommended that the proposed development submit a Conceptual Site Plan Application to determine whether the proposed development complies with the Public Facility, Very High (PF-VH) Zone's development regulations.

CONCEPTUAL SITE PLAN REVIEW & PLANNING STAFF ANALYSIS

PF-VH Zone Uses Allowed.

According to CZC 12.33.040(b) of the City's Zoning Ordinance, an "decant station" would be considered an "accessory use" and would be "permitted" in the PF-VH Zone.

Applicable Site Plan Development Standards.

Table 12.33.1 – Base Zone Development Standards <i>(Public Facilities – Very High (PF-VH) Zone)</i>			
Development Standards	Required	Actual	Compliance
Building Standards			
Distance Between Buildings	6 Feet	Not provided – <i>Located near the UTOPIA Hub Building</i>	Likely
Maximum Height	35 Feet for Accessory Buildings	28 Feet	Yes
Setbacks			
Front	25 Feet	Not Provided	Likely
Rear	1 Foot	Not Provided	Likely
Side Yard	10 feet	Not Provided	Likely
Floor Area per Building, Maximum	50,000 sq. ft.	1,612 sq. ft. <i>(both phases) *</i>	Yes

* See discussion below for details

Regulations of General Applicability- CZC 12.33.060:

- ✓ Nonconformity, Other (CZC 12.22.080) - The current facility is considered compliant with the original approved amended site plan of August 2001, which added the Parks and Recreation Building to the facility. This approval occurred prior to the original 2003 adoption of the current Zoning Ordinance, as amended. Therefore, the development is deemed a legal nonconforming site. Due to this project being less than a 30% expansion of the existing facility (*just over 5%*), there are a few ordinance provisions that are considered "Not Applicable" or "Limited in Scope." Consequently, development regulations with regards to landscaping, screening, and parking, will not be addressed in this report, as they are exempted by the applicable nonconforming provisions.

- ✓ Signs (CZC 12-54) – The plans depict the proposed use of concrete tilt-up panels, which also depicts the use of wall signs displaying the City’s Logo. The proposed use of wall type signs is required to comply with CZC 12.54.110(b)(1).

Supplementary Development Standards - CZC 12.55.

- ✓ Adequate Public Facilities – The conceptual plan depicts all the typical utility service lines within the area. All utility providers will need to be notified in conjunction with the Final Site Plan application submittal. Any planned connections will need to be reviewed and approved by the applicable entity providing such service.
- ✓ Accessory Uses and Structures – The applicable expectation here is the proper discharge of storm water that will be generated from off the building. It appears that the siting of the building can comply with this standard.
- ✓ Outdoor Lighting – The plans do not depict the use of building lighting. If lighting is planned, the use of such will need to comply with CZC 12.55.140, regarding the shielding of all lighting fixtures.

Other Applicable Development Matters

- ✓ Structure Phasing - The concept plan depicts the entire footprint of the accessory structure. However, pending funding for the building, it may be constructed in two parts. One side (west) will be for the decant portion of the accessory use. The other side (east) will be for materials storage. The central wall will be reinforced to allow for front loader operation to scoop the materials into the loading bucket. The east area may consist of only a concrete pad until the funding is secured for the walls and roof. Nonetheless, the conceptual plan is requesting an approval for the entire building.
- ✓ Use of remaining underdeveloped area - Staff raises the concern with allowing the remaining area to be underdeveloped or left in a state of dirt, mud and weeds that can create air quality, stormwater management, or visual nuisance issues regarding the property.



PLANNING STAFF RECOMMENDATION

PROPOSED ACTION: *“I hereby make a motion for the Planning Commission to accept the conceptual site plan for Lot #3 and partially on Lot #2 of the Centerville Corporate Park Subdivision, provided that the applicant addresses the following with a future final site plan submittal:*

1. *The applicant must submit a final site plan application in accordance with CZC12.21.100 of the City’s Zoning Ordinance.*

2. *The final site plan must address the following:*
 - a. *Depict the setbacks distances that meet the PF-VH Zone Standards*
 - b. *Send and collect, as part of the submittal, all related “utility provider” notice letters.*
 - c. *Address the use of signs on the building.*
 - d. *Report on the use of outdoor lighting.*
 - e. *Provide final plans for addressing storm water management and drainage*
3. *The Final Plan submittal must also address the concerns regarding the use and management of the remaining open land surrounding the proposed building to mitigate issues with air quality, stormwater management, or a visual nuisance of the property.”*

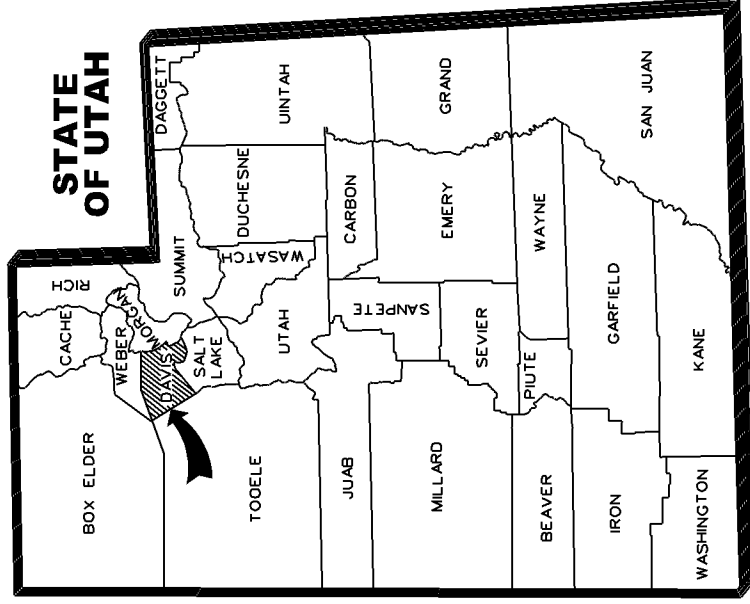
SUGGESTED REASONS FOR THE ACTION:

- a. *“The Planning Commission finds that with the issues to be addressed with the acceptance directives, the proposed accessory use and building and would likely comply with the applicable development standards of the PF-VH zone.”*

CENTERVILLE CITY PUBLIC

CENTERVILLE CITY DECANT STATION

PROJECT
LOCATION



CONSTRUCTION NOTES

GENERAL:

- 1. EXISTING UTILITY LOCATIONS SHOWN MAY NOT BE EXACT AND ALL UTILITIES MAY NOT BE SHOWN. CONTACT BLUE STAKES, SEWER DISTRICT & IRRIGATION COMPANY PRIOR TO EXCAVATION.
- 2. THE CONTRACTOR IS REQUIRED TO CONTACT THE ENGINEER AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN EXCAVATION PERMIT FROM UDOT.
- 4. THE CONTRACTOR SHALL HAVE ON SITE AT ALL TIMES AT LEAST ONE COPY OF THE SIGNED APPROVED PLANS & SPECIFICATIONS, AS WELL AS ALL PERMIT'S AS REQUIRED TO PERFORM THE WORK.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A TRAFFIC CONTROL PLAN & PROVIDING ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED FOR CONSTRUCTION, INCLUDING FLAGGING. TRAFFIC CONTROL PLAN SHALL BE REVIEWED AND ACCEPTED BY CENTERVILLE CITY.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING CITY STREETS FREE & CLEAN OF ALL CONSTRUCTION DEBRIS & DIRT TRACKED FROM SITE.
- 7. UTILITY TRENCHES ARE TO BE SLOPED OR BRACED & SHEETED AS PER STATE & FEDERAL REQUIREMENTS FOR SAFETY & PROTECTION OF WORKERS & OTHER UTILITIES.
- 8. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE & COOPERATE W/ ALL UTILITY COMPANIES WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY MANNER & W/ MINIMUM DISRUPTION OF SERVICE.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR ALL PROJECT SAFETY, INCLUDING BUT NOT LIMITED TO: EXCAVATION & SHORING, TRAFFIC CONTROL & SECURITY.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORD DRAWING INFORMATION & SUBMITTING THEM TO THE ENGINEER PRIOR TO FINAL PAYMENT.
- 11. CONTRACTOR SHALL PROTECT & NOT DISTURB PROPERTY ADJACENT TO PROJECT I.E. FENCES, LANDSCAPING, MAIL BOXES, ETC. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY BY CONTRACTOR SHALL BE RESTORED TO EQUAL CONDITION AT CONTRACTOR'S EXPENSE.
- 12. EXISTING DRAINS FROM ADJACENT PROPERTIES ARE TO BE MAINTAINED AND PROTECTED.
- 13. ALL MATERIALS TO BE REMOVED SHALL BE HAULED AWAY & DISPOSED OF IN A SAFE & LEGAL MANNER BY THE CONTRACTOR.
- 14. CONTRACTOR IS RESPONSIBLE FOR DEWATERING AND DIVERSION OF GROUND WATER AS NECESSARY TO COMPLETE WORK.
- 15. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- 16. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL NOTIFY THE ENGINEER OF DISCREPANCIES BETWEEN THE ACTUAL CONDITIONS AND INFORMATION SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- 17. PROPERTY AFFECTED BY PROJECT SHALL BE RESTORED TO EQUAL CONDITION. MATCHING EXISTING MATERIALS. REPLACING SPRINKLERS, DECORATIVE CURBING, ETC. IS INCIDENT TO REMOVE AND REPLACE LANDSCAPING.
- 18. CONTRACT WORK SHALL BE DONE IN ACCORDANCE WITH CENTERVILLE CITY STANDARDS AND UDOT STANDARDS. ALL CONSTRUCTION WITHIN THE UDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD DRAWINGS AND SPECIFICATIONS, FOUND AT UTAH.UDOT.GOV/GO/2012STANDARDS. CONCRETE WORK SUCH AS SIDEWALK, CURB & GUTTER AND PEDESTRIAN RAMPS ARE REFERENCED IN THE TYPICAL DETAILS IN THIS PLAN SET. NOT ALL STATE DETAILS OR REFERENCES ARE SHOWN IN THIS PLAN SET, PLEASE REFER TO UDOT STANDARD DRAWING DETAILS AS INDICATED.
- 19. WATERLINE ALIGNMENT SHALL BE ESTABLISHED IN THE FIELD ACCORDING TO POTHOLE FINDINGS ON THE ALIGNMENTS OF EX. UTILITY LINES. ENGINEER TO VERIFY & APPROVE ALIGNMENT, PRIOR TO MILLING OR SAW-CUTTING OF ASPHALT.
- 20. CONTRACTOR SHALL REMOVE AND HAUL AWAY ANY EXISTING IRRIGATION PIPE THAT CONFLICTS WITH THE NEW LINE. ALL VALVES AND VALVE BOXES SHALL BE REMOVED AND SALVAGED TO CENTERVILLE DEUEL CREEK IRRIGATION CO.

LEGEND:

- -- - 4229
- SW
- SC
- TT
- X
- W
- W
- e
- f
- f
- i
- i

ABBREVIAT

- CL = CEN
- DW = DR
- EOA = EDO
- FL = FLO
- INV. = INV
- RET. = RET
- E. = EAS

FOUAD ENTERPRISES LTD
06-132-0003

QWESTAR GAS
COMPANY
06-006-0111

UTAH DEPARTMENT
OF TRANSPORTATION
06-006-0073

UTAH DEPARTMENT
OF TRANSPORTATION
06-006-0078

700 NORTH

S71°27'24"E
93.34

S49°33'30"E
291.00

L=62.83
R=40.00

476.00
S0°06'30"W

EX. BUILDING 4
8,600 SQ FT

NEW DECANT STATION

EX. BUILDING 3
3,000 SQ FT

552.29
N09°05'35"E

EX. BUILDING 2
8,000 SQ FT

EX. BUILDING 1
10,000 SQ FT

N89°53'30"W
505.00

TOP EL = 4218.66
INV. EL = ?



- ① INSTALL NEW GATE ENTRANCE
- ② INSTALL CONCRETE FOUNDATION AS PER STRUCTURAL DETAIL ON SHEET 6
- ③ INSTALL CONCRETE WALLS AS PER STRUCTURAL DETAIL ON SHEET 6

LEGEND

- WATER VALVE & LINE**
- POWER POLE & LINE**

QWESTAR UTILITY EASEMENT

TELECOM UTILITY EASEMENT

DESIGN CRITERIA

- GOVERNING BUILDING CODE: 2018 IBC; ASCE 7-16
- GRAVITY LIVE LOADS USED IN DESIGN:
 - ROOF SNOW
36.0 PSF + DRIFT; ELEVATION = 4350 FT
(PG=43.0 PSF; PF=30.0 PSF; I=1.0; CE=1.0; CT=1.2)
 - ROOF DRIFT LOAD
NO DRIFT
 - FLOOR LIVE LOAD
250 PSF - SLAB ON GRADE
- SEISMIC LOADING:
S.D.C = "D" (SS=1.5; S1=0.65; FA=1.2; FV=1.5; SDS=1.0; SD1=0.65)
R = 5.0 (SPECIAL CONCRETE SHEAR WALLS) ; I = 1.0; CS = 0.24
BASE V-SEE STRUCTURAL CALCS (EQUIVALENT LATERAL FORCE PROCEDURE)
- WIND LOADING:
VELOCITY = 140 MPH (3 SEC GUST) ; EXPOSURE = "C"
MWFRS PNET = 38.0 PSF; ROOF GROSS UPLIFT = 26.0 PSF:
- RISK CATEGORY = III
- IMPORTANCE FACTORS: SNOW I = 1.10; SEISMIC I = 1.0
- SOIL BEARING PRESSURE: REFER TO THE GEOTECHNICAL REPORT BY XXX DATED XXX. ALLOWABLE SOIL BRNG = 1500 PSF.
ALL FOOTINGS SHALL BE ON 12" OF STRUCTURAL FILL EXTENDING DOWN TO SUITABLE NATIVE EARTH.

GENERAL

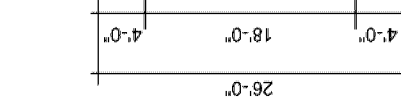
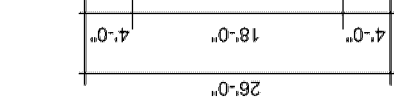
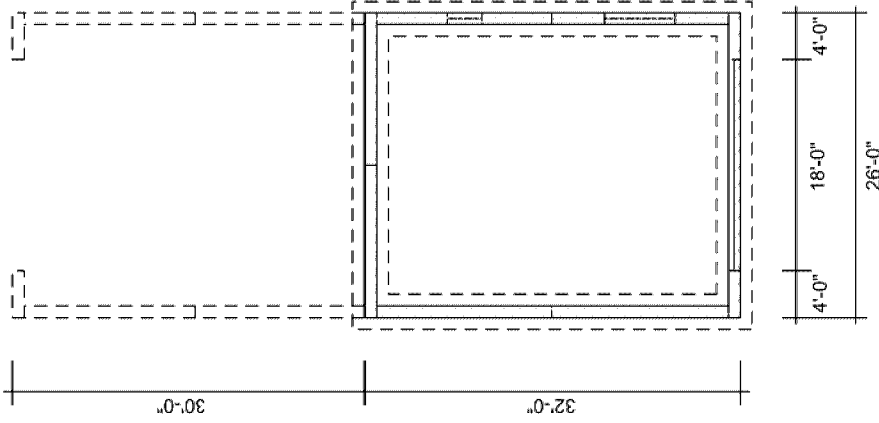
- THE CONTRACTOR SHALL COMPARE ALL DIMENSIONS AND CONDITIONS ON DRAWINGS AND AT SITE. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTING OFFICER, THE ARCHITECT AND/OR STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.
- ALL DETAILS, SECTIONS, AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SAME CONDITIONS ELSEWHERE.
- SHORING AND BRACING REQUIREMENTS:
 - FLOOR AND ROOF STRUCTURES: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE METHOD AND SEQUENCE OF ALL STRUCTURAL ERECTION. HE SHALL PROVIDE TEMPORARY SHORING AND BRACING AS HIS METHOD OF ERECTION REQUIRES TO PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT. SHORING AND BRACING SHALL REMAIN IN PLACE AS THE CHOSEN METHOD REQUIRES UNTIL ALL PERMANENT MEMBERS ARE IN PLACE AND ALL FINAL CONNECTIONS ARE COMPLETED, INCLUDING ALL ROOF AND FLOOR ATTACHMENTS. THE BUILDING SHALL NOT BE CONSIDERED STABLE UNTIL ALL CONNECTIONS ARE COMPLETE.
 - THE GENERAL CONTRACTOR SHALL COORDINATE WITH ALL TRADES ANY AND ALL ITEMS THAT ARE TO BE INTEGRATED INTO THE STRUCTURAL SYSTEM. OPENINGS OR PENETRATIONS THROUGH, OR ATTACHMENTS TO THE STRUCTURAL SYSTEM THAT ARE NOT INDICATED ON THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE COORDINATED WITH THE ARCHITECT/ENGINEER. THE ORDER OF CONSTRUCTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. IT IS THE CONTRACTOR'S OBLIGATION TO PROVIDE ITEMS NECESSARY FOR HIS CHOSEN PROCEDURE.
- OBSERVATION VISITS TO THE SITE BY THE ENGINEER OR THEIR REPRESENTATIVES SHALL NOT BE CONSTRUED AS INSPECTION NOR APPROVAL OF CONSTRUCTION.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR, AND OBTAIN THE ARCHITECT'S, THE STRUCTURAL ENGINEER AND THE GOVERNMENT'S WRITTEN APPROVAL, PRIOR TO ANY CHANGES, MODIFICATIONS, OMISSIONS AND/OR SUBSTITUTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND PROTECTION IN AND AROUND THE JOB SITE AND/OR ADJACENT PROPERTIES.
- THERMAL OR MOISTURE PROTECTION, FURNISHINGS, DOORS, WINDOWS, EQUIPMENT, MECHANICAL, ELECTRICAL, FINISHES, SIDING, PANELING, VENEERS, CONDITIONS AND SITE GRADING ARE NOT PART OF THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

FOUNDATION NOTES

- REFER TO THE GEOTECHNICAL REPORT BY AGEC DATED XXXX FOR ALL EARTH PREPARATION REQUIREMENTS. ALLOWABLE SOIL BRNG = 1500 PSF. ALL FOOTINGS SHALL SUPPORTED BE ON 12" OF STRUCTURAL FILL EXTENDING DOWN TO SUITABLE NATIVE EARTH.
- ALL FOOTINGS SHALL BEAR ON A MINIMUM OF 12" OF COMPACTED ENGINEERED FILL AT 95% ASTM D-1557. FILL SHALL BE PLACED ON PROOF ROLLED SUITABLE NATIVE EARTH.
- NO FOOTINGS SHALL BE PLACED IN WATER OR ON FROZEN GROUND.
- EXTERIOR WALL FOOTINGS SHALL BEAR AT A MINIMUM DEPTH OF 2'-6" BELOW FINISHED EXTERIOR GRADE. CONFIRM FROST DEPTH WITH LOCAL BUILDING DEPARTMENT.
- ALL INTERIOR BUILDING SLABS ON GRADE SHALL BE PLACED UPON A 4" LAYER OF COMPACTED CLEAN FREE DRAINING GRAVEL ON SUITABLE NATIVE EARTH OR STRUCTURAL FILL EXTENDING DOWN TO SUITABLE NATIVE EARTH.

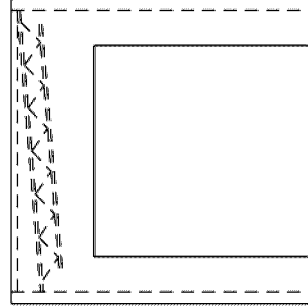
CONCRETE NOTES

- PERFORM ALL CONCRETE WORK IN ACCORDANCE WITH IBC 2018, ACI 318-14 AND ACI 301
- ALL CONCRETE SHALL BE STONE AGGREGATE AND HAVE A MINIMUM COMPRESSIVE STRENGTH AS SHOWN ON FOUNDATION MATERIAL SPECIFICATION SCHEDULE. ALL CONCRETE SHALL USE TYPE II PORTLAND CEMENT.
- ALL METAL REINFORCEMENT SHALL CONFORM TO ASTM A615 AND SUPPLEMENT (S1), GRADE 60, WITH A MINIMUM YIELD STRENGTH OF 60 KSI.
- ALL REINFORCING BARS SHALL BE DETAILED, BOLSTERED AND SUPPORTED IN ACCORDANCE WITH ACI 315, 318, PUBLICATION SP-66.
- ALL REINFORCEMENT BARS SHALL BE SECURELY ANCHORED TO THE FORMS AND SPACED FROM THEM AS FOLLOWS:
 - FOR CONCRETE NOT EXPOSED DIRECTLY TO THE GROUND OR WEATHER: 2" IN SLABS, JOISTS AND WALLS; 1-1/2" IN PIERS, COLUMNS, BEAMS, AND GIRDERS.
 - FOR CONCRETE EXPOSED TO THE GROUND OR WEATHER, 2" IN WALLS, PIERS AND COLUMNS, 3" IN ALL FOOTINGS.
- ALL SPLICES IN CONTINUOUS REINFORCING BARS SHALL LAP AS SHOWN. ALL SUCH SPLICES SHALL BE MADE IN A REGION OF COMPRESSION UNLESS SHOWN OTHERWISE.
 - #4 BAR - 24"; #5 BAR - 30"; #6 BAR - 36"; #7 BAR - 48"; #8 BAR - 60"; D-WWF - TWO BAR SPACINGS (12" MIN)
- LARGE AREAS OF SLAB ON GRADE SHALL BE PLACED BY LONG-STRIP METHOD WITH LENGTH TO WIDTH RATIO OF CRACK CONTROL SHALL NOT EXCEED 1.25.
- PLACE CONTROL JOINTS IN SLABS ON GRADE BY EARLY-ENTRY SAW CUTTING 1/4 THE SLAB THICKNESS. DO NOT CUT REBAR.
- SEE FOUNDATION SCHEDULE AND DETAILS FOR CONCRETE WALL REINFORCING.
- PLACE REINFORCEMENT IN CENTER OF WALL UNLESS SHOWN OTHERWISE AND DOWEL TO FOOTING OR TO STRUCTURE ABOVE AND BELOW WITH SAME DOWEL SIZE AND SPACING AS VERTICAL REINFORCEMENT.
- ALL DOWELS SHALL HAVE AT LEAST 48 BAR DIAMETER EMBEDMENT AND/OR STANDAR HOOK AT ENDS
- PROVIDE STD. CORNER BARS AT ALL INTERSECTING CORNERS OF WALLS AND FOOTINGS. USE SAME SIZE AND SPACING AS HORIZONTAL REINFORCEMENT.



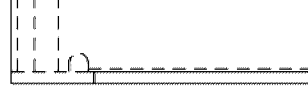
TOW EL = 130.16

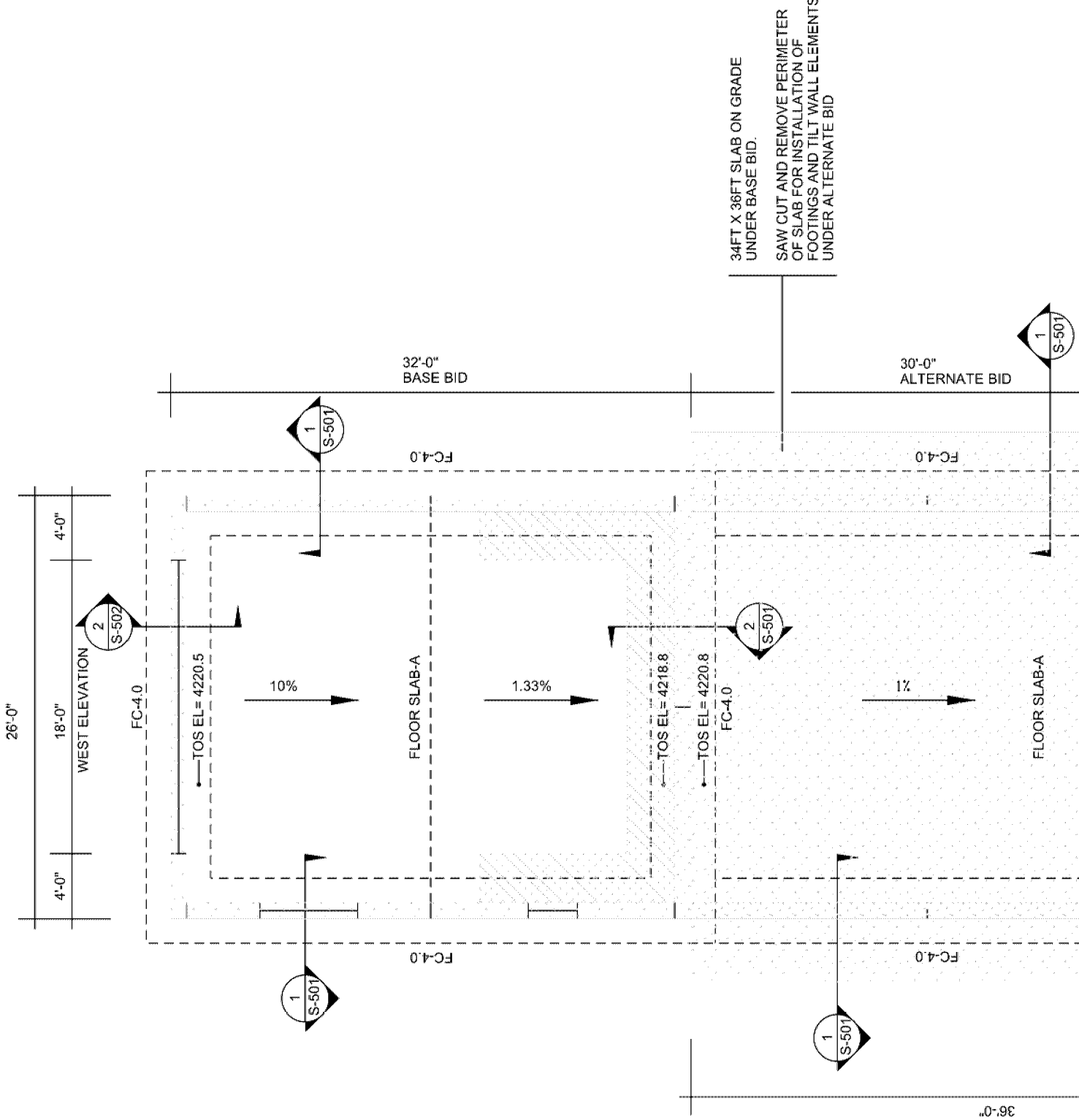
HIGH CEILING EL = 128.16
 LOW CEILING EL = 126.16
 OH DOOR EL = 123.16

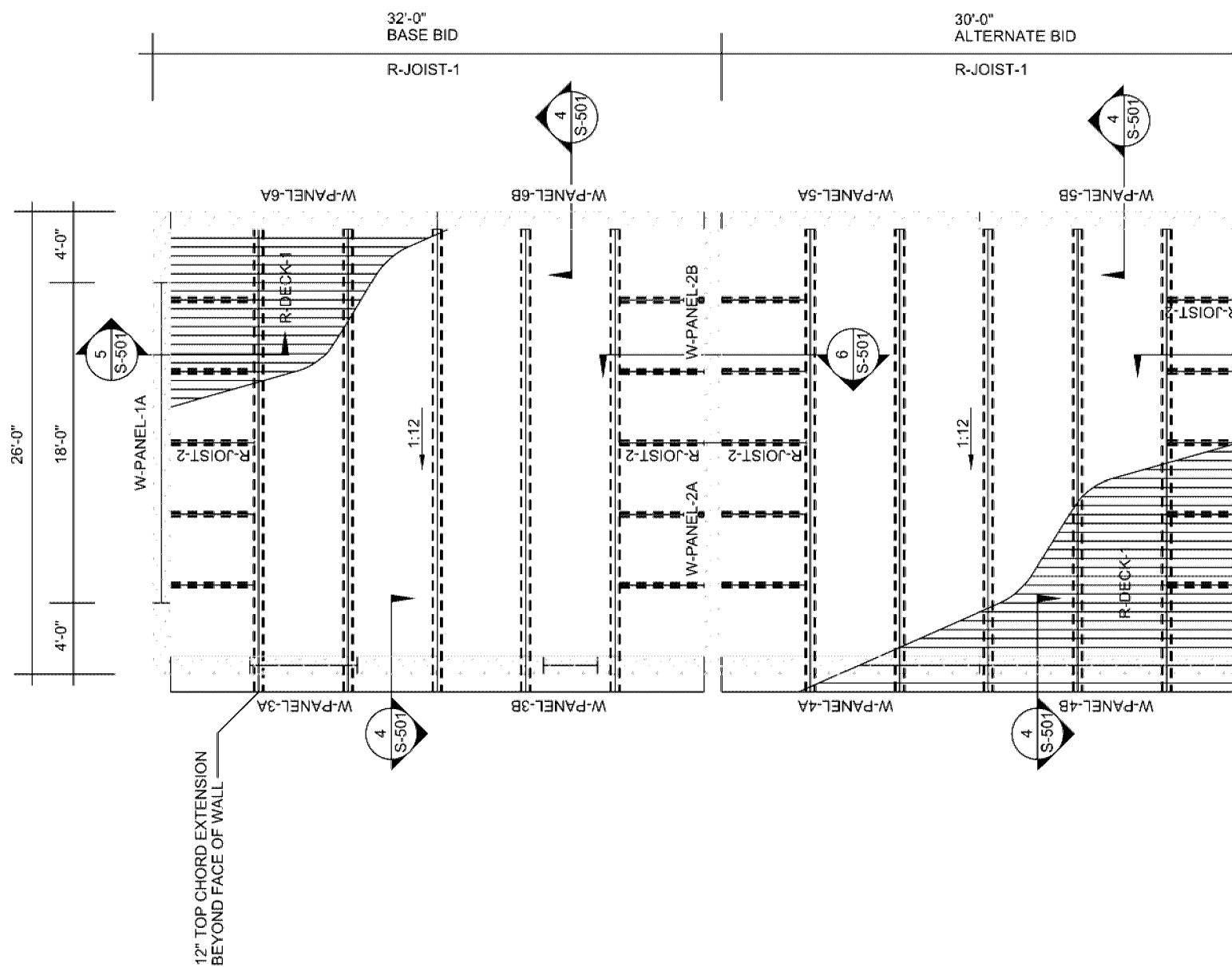


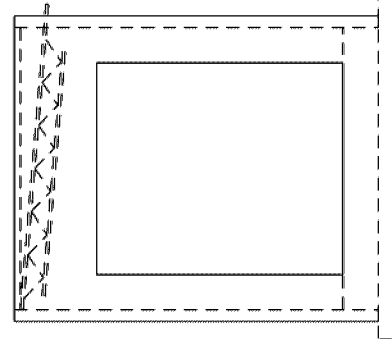
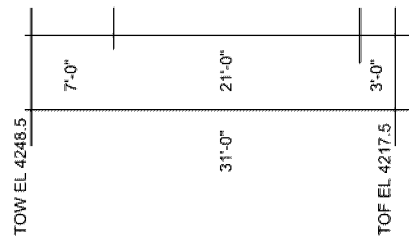
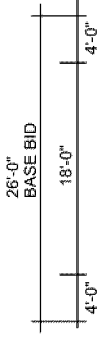
TOW EL = 130.16

HIGH CEILING EL = 128.16
 LOW CEILING EL = 126.16
 OH DOOR EL = 123.16

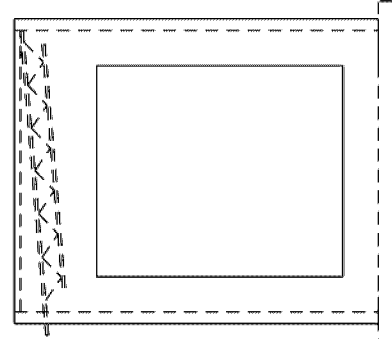
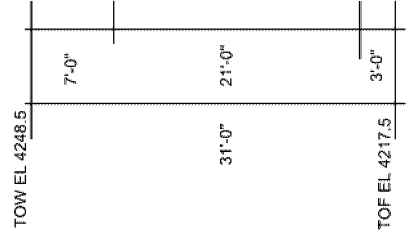
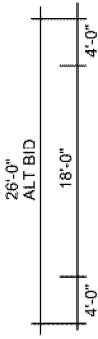






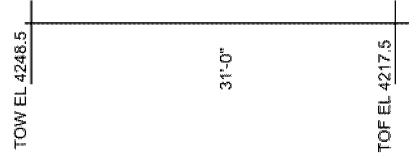


W-PANEL-1A



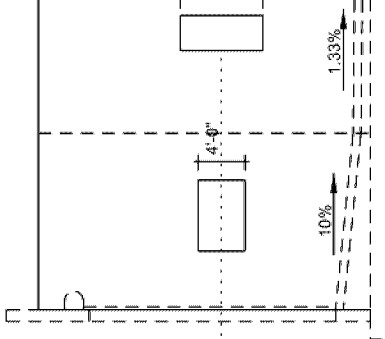
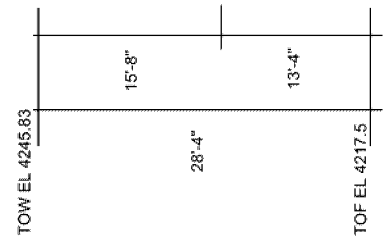
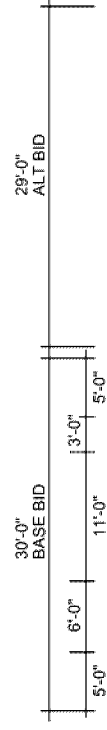
W-PANEL-1B

#6 @ 6"OC VERT EACH FACE
WITH #4 HOOP TIES @ 8"OC



W-PANEL-2B

NOTE: PANELS MAY BE CONSIDERED
PANEL OR SPLIT INTO TWO AS SHOWN



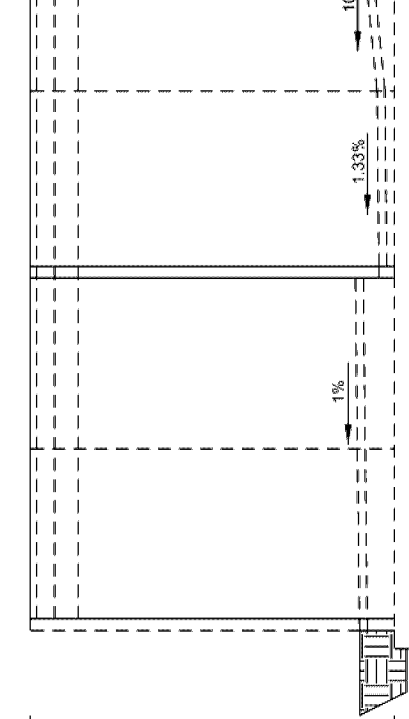
W-PANEL-3A

29'-0" ALT BID

TOW EL 4248.5

31'-0"

TOS EL 4220.5
TOF EL 4217.5



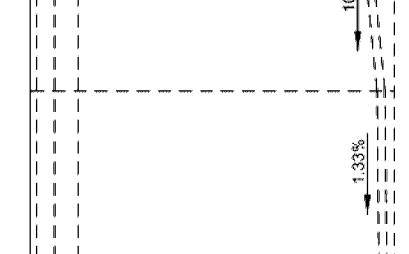
W-PANEL-3B

29'-0" ALT BID

TOW EL 4248.5

31'-0"

TOS EL 4220.5
TOF EL 4217.5



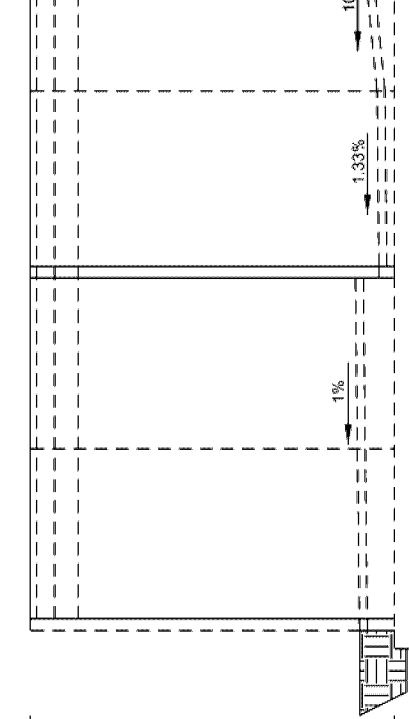
W-PANEL-4A

29'-0" ALT BID

TOW EL 4248.5

31'-0"

TOS EL 4220.5
TOF EL 4217.5



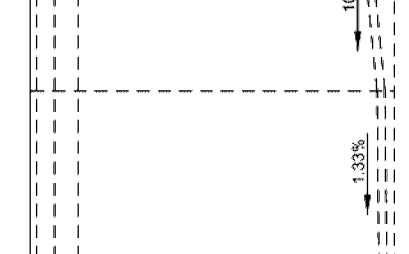
W-PANEL-4B

29'-0" ALT BID

TOW EL 4248.5

31'-0"

TOS EL 4220.5
TOF EL 4217.5



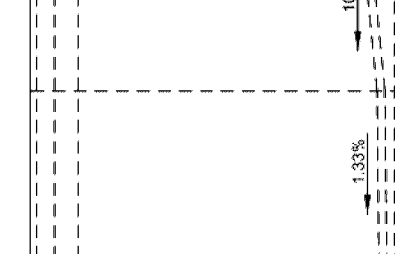
W-PANEL-5A

29'-0" ALT BID

TOW EL 4248.5

31'-0"

TOS EL 4220.5
TOF EL 4217.5



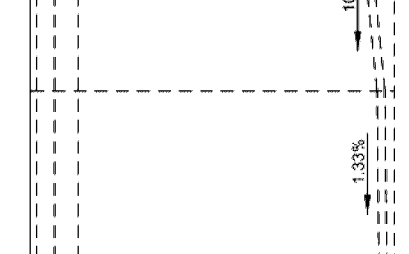
W-PANEL-5B

29'-0" ALT BID

TOW EL 4248.5

31'-0"

TOS EL 4220.5
TOF EL 4217.5



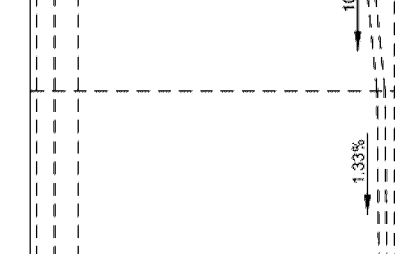
W-PANEL-6B

29'-0" ALT BID

TOW EL 4248.5

31'-0"

TOS EL 4220.5
TOF EL 4217.5



W-PANEL-6B

CENTERVILLE

Staff Backup Report

1/8/2020

Item No. 3.

Short Title: Election of Chair and Vice Chair of Planning Commission

Initiated By:

Scheduled Time:

SUBJECT

RECOMMENDATION

Per Centerville Zoning Code 12.20.050 (c)

1. Members of the Planning Commission shall select one of its members as chair to oversee the proceedings and activities of the Planning Commission.

(a) The chairperson shall serve for a term of one year.

(b) Members of the Planning Commission shall select one of its members as vice chair to act in the absence of the chair.

(c) The chair and vice chair may be re-elected for successive terms.

BACKGROUND

CENTERVILLE

Staff Backup Report 1/8/2020

Item No. 4.

Short Title: Community Development Director's Report

Initiated By:

Scheduled Time:

SUBJECT

Planning Commission Items:

- Next PC Meeting is January 22, 2019

City Council Items:

- Devore Property Rezone from A-L to R-L tabled until 1/7/2020

RECOMMENDATION

BACKGROUND

CENTERVILLE

**Staff Backup Report
1/8/2020**

Item No.

Short Title: December 11, 2019

Initiated By:

Scheduled Time:

SUBJECT

RECOMMENDATION

BACKGROUND

ATTACHMENTS:

Description

- December 11, 2019 Planning Commission Draft Minutes

PLANNING COMMISSION MINUTES OF MEETING
Wednesday, December 11, 2019
7:00 p.m.

A quorum being present at Centerville City Hall, 250 North Main Street, Centerville, Utah.
The meeting of the Centerville City Planning Commission was called to order at 7:00 p.m.

MEMBERS PRESENT

Cheylynn Hayman, Chair
Thomas Hunt
Logan Johnson
Becki Wright

MEMBER ABSENT

Kevin Daly, Vice Chair
Isaac Workman

STAFF PRESENT

Cory Snyder, Community Development Director
Lisa Romney, City Attorney
Mackenzie Wood, Assistant Planner
Katie Rust, Recording Secretary

PLEDGE OF ALLEGIANCE

OPENING COMMENT/LEGISLATIVE PRAYER Chair Hayman

PARKING MODIFICATION – ADMINISTRATIVE DECISION – 125 SOUTH MAIN STREET

Layton and Associates LLC is under contract for the old fire station building located at 125 South Main. They wish to house their CPA firm in the building, as well as a boutique/specialty gym. The two uses, CPA firm and gym, would not occur at the same time. Mackenzie Wood, Assistant Planner, explained that under City ordinance, the two different uses combined would require more parking than is currently provided at the site. Based on the non-overlapping uses, the applicant argues that the required number of parking stalls (24) is unnecessary for the intended use of the property. The property currently has 16 parking stalls, and the applicant proposes to add a few more. Due to the separate hours of each use, Staff finds the proposed number of stalls adequate for the intended use of the building.

Rachelle Dillingham and Matt Layton, applicants, explained that the boutique/specialty gym would involve training and classes of no more than eight people at one time, with classes not overlapping. They stated a few parking stalls can be added in front of the bay doors on the east side, but additional stalls would require substantial modifications to the landscaping. Mr. Layton explained that UDOT is requiring elimination of the curb cut on the south side of the building.

Commissioner Wright spoke in favor of approving the parking modification. Commissioner Johnson made a **motion** for the Planning Commission to approve the Parking Modification for the building located at 125 South Main Street based on the following conditions and reasons for action. Commissioner Wright seconded the motion, which passed by unanimous vote (4-0).

Conditions:

1. This modification is only for 125 South Main Street and is not transferable to another location or another user at this location.
2. The applicant shall paint and stripe according to our Parking dimension and design requirements as stated in CZC 12.52 in order to reach 18 stalls total, as shown in the provided site plan.
 - a. This shall be done before the issuance of the Certificates of Occupancy OR
 - b. The applicant shall bond for the remaining striping on the lot.
3. Future tenants and uses may be altered with the approval of the Zoning Administrator. The total parking calculation of uses with peak demand during the same time period (daytime/evening) shall not exceed 18 stalls.
 - a. If there are any changes to tenants that exceed this calculation, OR if there are any complaints brought to the awareness of City Staff or the Commission, the Parking Modification shall be brought back to the Planning Commission for further review.

Reasons for action:

1. A parking modification is permitted with approval from the Planning Commission based on a parking study [12.52.110(e)(2)].
2. According to 12.52.110(c), the Commission may modify the required number of parking stalls for a commercial site.
3. The Planning Commission finds there is adequate parking for this site based on CZC 12.55.110(c) 2, 3, and 4.

**PUBLIC HEARING – ADMINISTRATIVE DECISION – CONCEPTUAL SITE PLAN FOR
LEGACY LANDS LOT 1**

The applicant/owners would like to develop Lot 1 of the Legacy Lands Subdivision. The proposal is to construct one multi-tenant or flex-space style building (two-story totaling 18,762 square feet) and the associated parking and landscaping elements. Mr. Snyder explained that design and layout expectations within the Shorelands Commerce Park (SCP) differ from expectations in a standard industrial zone. Mr. Snyder stated the design pattern book submitted with the application does not meet the 30% drought-tolerant open space requirement, or the parking requirements for the proposed size of building (10 stalls short). Mr. Snyder explained that the applicant would like to move forward with conceptual approval, with the intention to alter the plan to meet SCP expectations before final approval. Mr. Snyder explained the difference between block construction and tilt-up construction, and what, in his opinion, would constitute a bold gesture.

Jeff Cook, applicant, said he would like to move forward with conceptual approval, subject to working out issues with Staff before final approval. He said he would work with Staff to more fully understand the concept of “bold gestures”. Mr. Cook said he had thought the application met parking and landscaping requirements, and said his engineer may not have been aware of SCP expectations. Mr. Cook stated he would prefer to use tilt-up, which has a longer life-span than block construction. Gary Smith, owner of the subject property, explained the landscaping elements included in the plan, and said they could reduce the number of trees if necessary.

At 7:42 p.m., Chair Hayman opened a public hearing, and closed the public hearing seeing that no one wished to comment. The Commission discussed the SCP requirements and the Conceptual Site Plan application. Chair Hayman suggested the applicant work with Staff to meet more of the SCP expectations, and come back to the Planning Commission for Conceptual Site

1 Plan approval. Commissioner Johnson disagreed, and stated he felt the concept was good. He
2 said he would be comfortable letting them move forward with conceptual approval, and said he
3 suspects the only way for this plan to meet the SCP requirements would be to reduce the size of
4 the building.

5
6 Chair Hayman **moved** to table the matter to allow the applicant to review the development
7 matters addressed in the Staff Report and make any necessary changes or additions for the
8 following reason for the action. Commission Wright seconded the motion.

9
10 Reason for action:

- 11
12 a. The applicant has NOT clearly shown how the property may be developed
13 [12.21.110.d.2] with regards to the development standards and design guidelines of
14 the SCP Zone.

15
16 Commissioner Johnson repeated that he believed it would be feasible for the applicant
17 and owners to move forward and meet the SCP requirements with conceptual approval. Mr. Smith
18 explained that one office space would be for Cook Building, one space would be for J&L
19 Landscaping, and they do not yet have a tenant for the third space. Mr. Cook stated they would
20 address the issues, and said he felt nothing would be gained by tabling the matter. The motion to
21 table failed (0-4), with all four Commissioners dissenting.

22
23 Commissioner Johnson made a **motion** for the Planning Commission to accept the
24 Conceptual Site Plan for the Legacy Lands Investment Property in the Shorelands Commerce
25 Park, subject to the following conditions and reasons for action. Commissioner Hunt seconded
26 the motion.

27
28 Conditions:

- 29
30 1. The applicant shall come forward with a final site plan fully compliant with Shorelands
31 Commerce Park Zoning Regulations, with particular attention to landscaping and
32 parking regulations, and shall submit a parking plan that has been reviewed by Staff.
33 2. The applicant shall comply with all items listed in the December 11, 2019 Staff Report.
34 3. The design plan shall incorporate bold gestures.

35
36 Reason for action:

- 37
38 a. The Conceptual Site Plan addressed location of easements, the general layout of the
39 property, and the use.

40
41 Commissioner Wright suggested adding a second reason for action to clarify that sufficient
42 information was provided in the Staff Report to direct the applicant on how to comply with SCP
43 standards. Commissioner Johnson **moved to amend** the motion to add reason for action (b).
44 Commissioner Wright seconded the motion to amend, which passed by unanimous vote (4-0).
45 The amended motion passed unanimously (4-0).

- 46
47 b. Sufficient information was provided in the Staff Report to direct the applicant on how
48 to comply with SCP standards.

PUBLIC HEARING – ZONING CODE AMENDMENTS – CHAPTER 12.69 (MEDICAL CANNABIS FACILITIES)

Lisa Romney, City Attorney, explained proposed Zoning Code Amendments regarding medical cannabis facilities, and received feedback from the Planning Commission. She stated she will need to do more research regarding location restrictions. Commissioner Johnson suggested the West Bountiful residential area that borders the Industrial Zone on the southwest side of Centerville should be defined as a residential area on the Centerville maps included with Zoning Code Amendments. Ms. Romney confirmed that residential zones in adjacent cities would be included in the calculations for where medical cannabis facilities would be allowed in Centerville. Mr. Snyder commented that Agricultural-Medium (A-M) Zone is designated and defined in the Centerville Zoning Code, but Centerville does not currently have an existing A-M Zone.

At 8:33 p.m., Chair Hayman opened a public hearing, and closed the public hearing seeing that no one wished to comment. Chair Hayman made a **motion** to table the proposed Zoning Code Amendments to allow Staff to incorporate comments made by the Planning Commission. Commissioner Johnson seconded the motion, which passed by unanimous vote (4-0).

SUBDIVISION ORDINANCE UPDATES – CHAPTER 20 (ENFORCEMENT)

Ms. Romney explained proposed amendments to Chapter 20 of the Subdivision Ordinance regarding enforcement, and answered questions from the Council.

2020 PLANNING COMMISSION MEETING SCHEDULE

The Planning Commission reviewed a proposed meeting schedule for 2020 and made recommendations.

COMMUNITY DEVELOPMENT DIRECTOR'S REPORT & CITY COUNCIL REPORT

The Planning Commission is scheduled to meet next on January 8, 2020. Mr. Snyder updated the Commission regarding recent and upcoming City Council and RDA agenda items.

MINUTES REVIEW AND ACCEPTANCE

The minutes of the November 13, 2019 Planning Commission meeting were reviewed. Commissioner Johnson **moved** to accept the minutes. Commissioner Wright seconded the motion, which passed by unanimous vote (4-0).

ADJOURNMENT

At 8:49 p.m., Chair Hayman made a **motion** to adjourn the meeting. Commissioner Johnson seconded the motion, which passed by unanimous vote (4-0).

Leah Romero, City Recorder

Date Approved

1 Katie Rust, Recording Secretary