



REDEVELOPMENT AGENCY OF CENTERVILLE CITY AGENDA

Public meetings will be held electronically via Zoom and live streamed on the Centerville City YouTube channel in accordance with Executive Order 2020-5 Suspending the Enforcement of Provisions of Utah Code 52-4-202 and 52-4-207 due to Infectious Disease COVID-19, issued by Governor Herbert on March 18, 2020. *Public meetings conducted via Zoom may be terminated at any time due to hackers or inappropriate content*

NOTICE IS HEREBY GIVEN THAT THE CENTERVILLE CITY COUNCIL WILL HOLD ITS REDEVELOPMENT AGENCY MEETING AT 8:00 PM ON JULY 7, 2020 AT THE CENTERVILLE CITY HALL COUNCIL CHAMBERS, 250 NORTH MAIN STREET, CENTERVILLE, UTAH. THE AGENDA IS SHOWN BELOW.

Meetings of the Redevelopment Agency of Centerville City may be conducted via electronic means pursuant to Utah Code Ann. 52-4-207, as amended. In such circumstances, contact will be established and maintained via electronic means and the meeting will be conducted pursuant to the Electronic Meetings Policy established by the City Council for electronic meetings.

Centerville City, in compliance with the Americans With Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance, including hearing devices. Persons requesting these accommodations for City-sponsored public meetings, services, programs, or events should call Jacob Smith, Administrative Services Director, at 801-295-3477, giving at least 24 hours notice prior to the meeting.

The full packet of backup materials can be found at <http://centerville.novusagenda.com/agendapublic>.

A. ROLL CALL

B. BUSINESS

1. MEETING INFORMATION

Centerville City Utah YouTube Channel link:
<https://www.youtube.com/user/centervillecityutah>

Join Zoom Meeting:
[https://zoom.us/j/98383080534?](https://zoom.us/j/98383080534?pwd=Mng3VU94azJRbURvTWdTK0tIZWVwdz09)
[pwd=Mng3VU94azJRbURvTWdTK0tIZWVwdz09](https://zoom.us/j/98383080534?pwd=Mng3VU94azJRbURvTWdTK0tIZWVwdz09)

Dial: +1 346 248 7799
Meeting ID: 983 8308 0534
Password: 935639

2. CenterPoint Theatre Boiler #2 Replacement Proposal
Consider the proposal submitted by American Mechanical Systems Service, LLC (AMSS) for replacement of CenterPoint Theatre boiler #2 in the amount of \$120,865.22.
3. Bank of America - Conceptual Site Plan
Update on the proposed re-development of the former Iggy's restaurant site located at 782 West Parrish Lane by Bank of America.

C. ADJOURNMENT

Leah Romero
Centerville City Recorder

CENTERVILLE

Staff Backup Report

7/7/2020

Item No. 2.

Short Title: CenterPoint Theatre Boiler #2 Replacement Proposal

Initiated By: Bruce Cox, Parks and Recreation Director

Scheduled Time:

SUBJECT

Consider the proposal submitted by American Mechanical Systems Service, LLC (AMSS) for replacement of CenterPoint Theatre boiler #2 in the amount of \$120,865.22.

RECOMMENDATION

BACKGROUND

AMSS Proposal:

AMSS will disconnect and remove old boiler, flu, and piping. AMSS will install new modulating condensing boiler with a 200-gallon buffer tank. AMSS will re-pipe the boiler room to make a true primary secondary loop while using the buffer tank. With this being the case there will be no need to replace the existing floor mounted pumps but AMSS will install new circ pumps per boiler to verify proper flow of the systems to prevent future failures due to high delta temps on the heat exchangers. AMSS will modify the controls to suit the newly installed piping and control valves. AMSS will add a boiler pump to the existing/ remaining boiler as well to help with the heat exchanger failure issues. AMSS will run new flu and will do a proper leak check and start up of the boiler system. AMSS will get the boiler inspector on site to get the proper licensing to run the boiler.

AMSS Excludes the Following:

- Any existing issues we find outside this scope of work

Pricing for the Job will be as follows:

Estimated Labor 160 Hours (Flue, Electrical, Controls, Start-up, etc...) @ \$95.00 = \$15,200.00

Boiler, Neutralizer, Flue = \$39,937.50

Estimated Misc. Parts = \$3,500.00

Valves, Strainers, Check Valves, Thermo Wells and Sensors = \$5,625.00

New Pump for Aerco Boiler = \$1,393.00

New Separator / Buffer Tank = \$4312.50

Estimated Boiler Inspector = \$700.00

Piping, Hangers, Insulation, Natural Gas Etc... = \$46,861.20

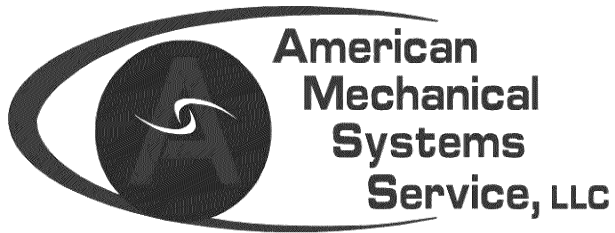
Estimated Sales Tax = \$3,336.02

Total Job Pricing = **\$120,865.22**

ATTACHMENTS:

Description

- ▣ Boiler #2 Replacement Proposal



PROJECT PROPOSAL & AGREEMENT

Proposal Date	Proposal Number	Contract Number
July 2 nd , 2020	070220-1	

BY AND BETWEEN:

American Mechanical Systems Service, LLC 5395 West 700 South Salt Lake City, Utah 84104
CONTRACTOR

CENTERPOINT Legacy Theatre 525 North 400 West Centerville, Utah 84014 ATTN: Jansen Davis
CUSTOMER

LOCATION OF PROJECT:

Centerpoint Theatre

DESCRIPTION OF PROJECT:

Replace Boiler #2

PRICE: \$120,865.22

CONTRACTOR

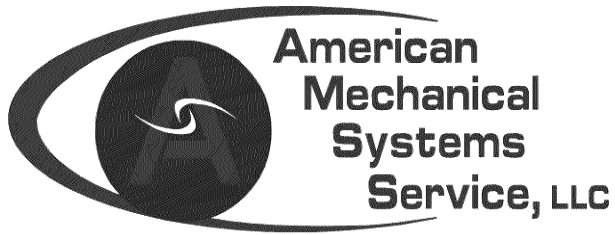
Brian Arnold
Signature

Title & Date

CUSTOMER

Signature

Title & Date



PROJECT PROPOSAL SPECIFICATIONS

AMSS has provided you with pricing to replace Boiler #2 at Centerpoint Theatre. AMSS will disconnect and remove old boiler, flu, and piping. AMSS will install new modulating condensing boiler with a 200-gallon buffer tank. AMSS will re-pipe the boiler room to make a true primary secondary loop while using the buffer tank. With this being the case there will be no need to replace the existing floor mounted pumps but AMSS will install new circ pumps per boiler to verify proper flow of the systems to prevent future failures due to high delta temps on the heat exchangers. AMSS will modify the controls to suit the newly installed piping and control valves. AMSS will add a boiler pump to the existing/ remaining boiler as well to help with the heat exchanger failure issues. AMSS will run new flu and will do a proper leak check and start up of the boiler system. AMSS will get the boiler inspector on site to get the proper licensing to run the boiler.

AMSS Excludes the Following:

- Any existing issues we find outside this scope of work

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New Pump for Aerco Boiler = **\$1,393.00**

New Separator / Buffer Tank = **\$4312.50**

Estimated Boiler Inspector = **\$700.00**

Piping, Hangers, Insulation, Natural Gas Etc... = **\$46,861.20**

Estimated Sales Tax = **\$3,336.02**

Total Job Pricing = \$120,865.22

All work to be done during regular business hours, M – F, 8 am – 5pm.

All pricing good for 30 days unless otherwise noted.

CENTERVILLE

Staff Backup Report

7/7/2020

Item No. 3.

Short Title: Bank of America - Conceptual Site Plan

Initiated By: City Manager, Brant Hanson, BofA Representative, Orlando Taylor

Scheduled Time:

SUBJECT

Update on the proposed re-development of the former Iggy's restaurant site located at 782 West Parrish Lane by Bank of America.

RECOMMENDATION

BACKGROUND

On 12/3/2019 representatives of Deerwood Investments Utah, LLC met with the RDA to request an amendment to the Agreement for Land Development for the Centerville Gateway Subdivision to allow a bank or financial institution as an approved use on Lot 1 and to accept Bank of America, NA as an approved user of Lot 1. The RDA passed the motion to approve the request with a majority vote. (see attached 12/3/2019 RDA minutes)

The conceptual site plan was brought before the Planning Commission on 6/24/2020, with the owner, Deerwood Investments Utah, LLC requesting an amendment to the previously approved site plan (May of 2008) for the property. The amendment would include demolition of the existing building and construction of a new main building.

The Planning Commission accepted the conceptual site plan subject to the following directives and reasons for action:

Directives:

1. The applicant's next step is to prepare and submit a Final Site Plan Application that complies with submittal provisions of CZC 12.21.110(e).
2. The Final Site Plan design and layout is to substantially conform with this Conceptual Site Plan Acceptance, or as amended by this acceptance or by the City at Final Site Plan Approval.
3. The Final Site Plan is to conform with the Conceptual Site Plan submittals presented to the Planning Commission and shall be corrected or amended as follows:
 - a. Any mechanical equipment facilities or areas on the ground or on the roof must be screened from public view [see CZC 12.51.110(d) & (e)].
 - b. Bank uses are required to have a minimum of three (3) stacked parking spaces for each drive-through lane [see CZC 12.52.(d)].
 - c. The two-way drive isles need to be corrected from 24 feet to the Zoning Code required 25 feet in width [see CZC 12.52.310].
 - d. The Final Site Plan shall address the required "storyboard" regarding the use of

- colors, materials, expected articulation parameters and design features [see CZC 12.63.040].
- e. The Final Site Plan submittal should address the expected “public amenities” [see CZC 12.63.040(b)].
- f. The Final Site Plan submittal is to address the style of the replacement lighting fixtures which are to be compatible with the existing fixture design and style.
4. The applicant shall consult with the City Engineer regarding the proposed re-grading plan and determine how storm water runoff should be managed either by existing facilities or whether an on-site basin is needed to meet current applicable regulations.
5. A sign permit is required prior to the erection, installation, or use of the proposed signs, which is a separate and distinct approval from any site plan approval.
6. The site is located within a redevelopment area enacted by the City and is subject to other provisions and restrictions defined by the Redevelopment Agency. Therefore, the proposed changes and alterations to this specific site must obtain approval from the Redevelopment Agency.
7. Lastly, these Conceptual Acceptance Directives are to help facilitate compliance with applicable City provisions regarding the proposed “Bank of America” development. However, there may be other applicable City regulations that have not been identified at this level of review. Consequently, there may be other standards or adjustments identified during a Final Site Plan review.

Reasons for the Action:

- a) The Planning Commission finds that the Conceptual Site Plan has been reviewed in accordance with CZC 12.21.110(d).
- b) The Planning Commission finds that the Conceptual Site Plan has been reviewed considering the applicable provisions of the Centerville Zoning Ordinance, as outlined in the applicable Planning Staff Report.
- c) The Planning Commission finds that “Acceptance” of a Conceptual Site Plan is not intended to permit actual development of property pursuant to such plan but is to be prepared and reviewed merely to represent how the property could be developed [see CZC 12.21.110(d)(5)].
- d) Lastly, the Planning Commission finds that any conditions of acceptance are to be limited to conditions needed to conform the conceptual site plan to approval standards and ordinance requirements [see CZC 12.21.110(d)(4)].

ATTACHMENTS:

Description

- BofA Centerville_Elevations
- BofA Centerville_Storyboard
- BofA Centerville_Site Plan
- BofA Centerville_Site Plan C1.1
- 6-24-20 PC Mtg Staff Report
- 6-24-20 Conceptual Site Plan submitted to PC
- 6-24-20 PC Minutes Draft
- RDA 12-3-2019 Minutes





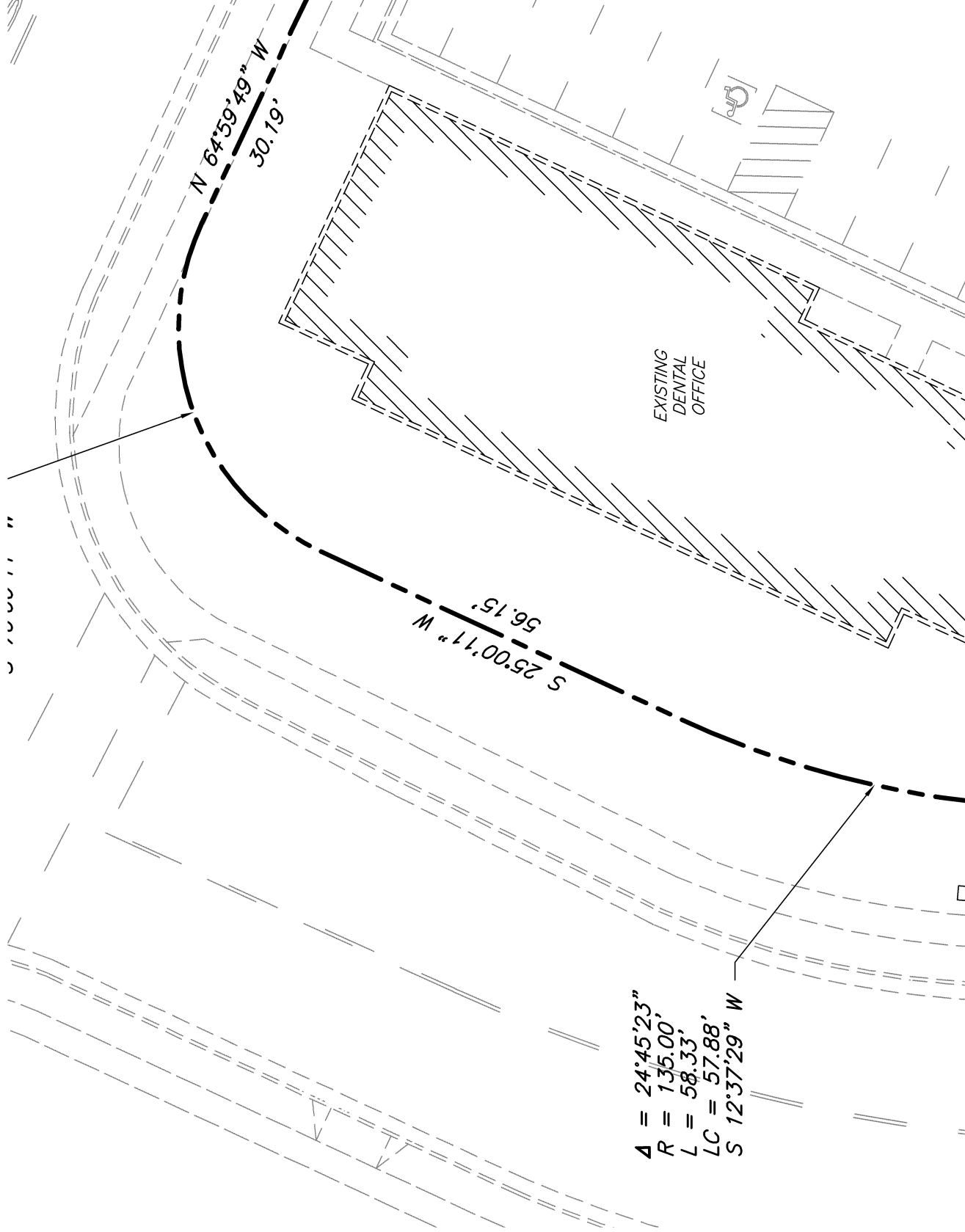
MATERIAL BOARD - SOUTHWEST ELEVATION PERSPECTIVE



MATERIAL BOARD - SOUTHEAST ELEVATION PERSPECTIVE







**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 3**

OWNER:	DEERWOOD INVESTMENTS UTAH LLC 3720 SOUTH SUSAN STREET #100 SANTA ANA, CA 92704 msalcedo@acpmanagement.com
CONTACT:	ORLANDO TAYOR orlando_taylor@gensler.com
PARCEL:	782 WEST PARRISH LANE (AKA: FORMER IGGY'S BUILDING- ISLAND PARCEL)
ACREAGE:	1.0 ACRES
ZONING:	COMMERCIAL – VERY HIGH (C-VH)
APPLICATION:	CONCEPTUAL SITE PLAN ACCEPTANCE (<i>SITE PLAN AMENDMENT</i>)

BACKGROUND

The owner, Deerwood Investments Utah LLC, desires to amend the approved site plan (*May of 2008*) for property located at 782 West Parrish Lane. The changes involve a significant alteration for the property to eliminate the former restaurant use and establish a proposed new bank use. Such alterations include the demolition existing building and then construct a new main building, reconfigure the parking and add a “drive-through” operation. Because such changes substantially alter the original final site plan approval and the conditions applied by such approval, the amendment is being re-submitted to the Planning Commission for review and decision regarding the changes to the site (*see CZC 12.21.110(k) for site plan amendment provisions and findings*).

CONCEPTUAL SITE PLAN REVIEW & PLANNING STAFF ANALYSIS

The Conceptual Plan depicts an area of limited demolition (*see Sheets C0.1 and C1.1 of the submittal*). Therefore, this report will address the applicable regulations most likely pertinent to the proposed demolition and reconstruction for the new proposed bank use.

C-VH Zone Uses Allowed.

According to the Table of Uses in CZC 12.36.040, a Bank or Financial Institution is a permitted use in the C-VH zone.

C-VH Zone Development Standards (CZC 12.34.1)

Development Standards for a Commercial - Very High Zone			
Development Standards	Required	Actual	Compliance
Building Standards			
Distance Between Buildings	6 Feet	> 6 Feet	Yes
Maximum Height	45 Feet	17 Feet	Yes
Setbacks			
Front	20 Feet	60 Feet – Parrish Ln	Yes
Street Side Yard	20 Feet	> 20 Feet	Yes
Rear	None (Except 30' adjacent to residential.)	Not Applicable	Not Applicable
Side Yard	8/10 feet	14 Feet	Yes
Side Yard	(Minimum total width of both side yards: 18 feet)		
Floor Area per Building, Maximum	No Maximum	3,876 sq. ft.	Not Applicable

Regulations of General Applicability- See CZC 12.34.060:Landscaping (CZC 12.51.070)

At least 15% of the project must be landscaped and 7% internal parking lot landscaping. The conceptual proposal depicts 25% for the site and 9.8% for the parking lot (see Sheet L1.1 of Submittal). It appears that the required number of trees and shrubs are being installed for the internal parking lot reconfiguration.

Screening (CZC 12.51.070)

Any mechanical equipment facilities or areas on the ground or on the roof must be screened from public view [see CZC 12.51.110(d) & (e)].

Parking (CZC 12.52)

The site is required to provide one (1) parking space for every 200 square feet of gross floor area, plus two spaces, which would require a minimum of 22 spaces for the proposed development. The conceptual plan depicts a total of 41 on-site parking stalls. Bank uses are required to have a minimum of three (3) stacked parking spaces for each drive-through lane [see CZC 12.52.(d)]. The stacked parking has NOT been dimensioned on the submitted site plan. The two-way drive isles need to be corrected from 24 feet to the Zoning Code required 25 feet in width (see CZC 12.52.310).

Parrish Lane Design Standards (CZC 12.63)

The gateway standards have been adopted to enhance the economic viability and aesthetic value of the Parrish Lane Gateway Area. Please keep in mind that many of the guidelines are “shoulds” rather than “shalls,” meaning that there is some discretion in whether a “should” is to be applied to a particular project. Nonetheless, a summary of these design standard concepts and a brief Staff response are being provided below:

Architecture (CZC 12.63.040)

Articulation (040a) – This section addresses the need to develop a human scale environment into the design of the building elevations. Additionally, the site’s layout and design ought to provide for pedestrian access and circulation.

Public Amenities (040b) – This section addresses the need to develop building features to enhance pedestrian and public spaces to create a more comfortable environment for users.

Colors & Materials (040c) – This section addresses the need to use quality building materials in the design of walls and fencing and the enhancement of the architectural features of the building.

Staff Conclusion – The submittal is missing the required “storyboard” regarding the use of colors, materials, and the expected articulation parameters (*see CZC 12.63.040*). Staff is not convinced that the new design has sufficient articulation in the building. However, it’s a rather small building, where larger buildings are the prominent focus for implementing expected articulation. Nonetheless, any main building must include the expected upgraded features as outlined in CZC 12.63.040(c)(2).

Additionally, the design and new layout does NOT seem to compensate for the replacement of the existing and/or propose any expected “public amenities” [*see CZC 12.63.040(b)*]. Although this is a “should,” staff believes the site’s location functions as a “gateway development.” Such features can be incorporated into the building design. The site plan depicts the required pedestrian connection that extends out to the public sidewalk system with the main entrance located at the southwest corner of the building.

Screening (040d) – This section is designed to upgrade the measures used in screening loading & service areas, mechanical equipment, and utilities.

Staff Conclusion – As mentioned earlier, any roof top equipment or ground based utility equipment “shall” be screened with compatible screening elements of the building’s architecture. The conceptual site plan submittal does not address this requirement.

Landscaping & Features (CZC 12.63.050)

Overall Design Concepts (050a) – This section is designed to unify the use of landscaping materials, site features, and pedestrian walkways both internally and externally.

Site Grading (050b) – This section is designed to encourage the conservation of existing landscaping, natural site grades, and incorporate natural features that may be present on the site.

Staff Conclusion – The proposed conceptual plan maintains or replaces much of the original landscaping design and features.

Drainage (050c) – This section is designed to integrate the use of landscaping materials and features with the site grading and drainage plans.

Staff Conclusion – The City Engineer will need to review a final re-grading plan and determine how storm water runoff should be managed either by existing facilities or whether an on-site basin is needed to meet current applicable regulations.

Ground-cover (living and non-living) & Plantings (050d & 050e) – These two sections encourage the use of low-water resource plantings. Also, the use of plantings should contribute to overall image of the community.

Staff Conclusion – This site is particularly prominent visually for the City. Again, it appears to staff that the submittal maintains or replaces most of the original landscaping design.

Art and Furnishings (050g) – This section encourages the use of art themes and features such as art, lighting, and other elements to enhance the site.

Staff Conclusion – The original plan provided plaza areas, with one having a fire pit gathering area. However, it does NOT to appear to staff that the new design maintains or provides substitute amenities to compensate for the change of use. Again, this is a “should,” and staff believes the site’s location functions as a “gateway development.” Such features can be incorporated into the building design.

Off-Street Parking – Layout (CZC 12.63.060)

Surface Parking Lot Design (060a) – This section is designed to address the appropriate location of parking areas, the use of internal landscaping, and minimizing curb cuts, and enhancing pedestrian pathways in areas of traffic circulation.

Overall Design Concepts (060b) – This section is designed to address the need to ensure appropriate layout in relationship to adjacent sites, buffer adjacent uses, and develop or minimize inappropriate cross-use traffic circulation.

Staff Conclusion – The proposed conceptual plan maintains or replaces much of the original landscaping design and features.

Off-Street Parking Lighting & Lighting Plan Standards (12.63-070) – This section is designed to address appropriate use of parking lot lighting to mitigate on and off-site impacts of lighting.

Staff Conclusion – The submitted plans provide the details for the removal or replacement of parking lighting for the site. However, the style of the replacement fixtures has not been addressed.

Streetscape Standards (CZC 12.63.080)

This section addresses the location and placement of required streetscape improvements along Parrish Lane.

Staff Conclusion – The proposed conceptual plan maintains or replaces much of the original site's design and features.

Other Development Issues:

12.54.050 Sign Permit Required – A sign permit shall be required prior to the erection, installation, or use of a sign. Such permit is separate and distinct from any other permit that may be required by applicable provisions.

Redevelopment Agency Review – The site is located within a redevelopment area enacted by the City and is subject to other provisions and restrictions defined by the Redevelopment Agency. Therefore, the proposed changes and alterations to this specific site must obtain approval from the Redevelopment Agency.

PLANNING STAFF RECOMMENDATION

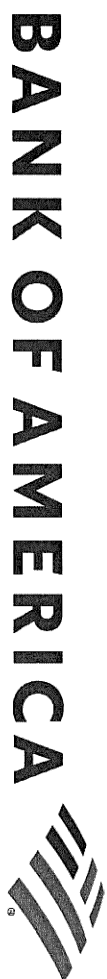
[PROPOSED MOTION] *"I hereby motion for the Planning Commission to **ACCEPT** the Conceptual Site Plan Application, submitted by Deerwood Investments Utah LLC, for the proposed Bank of America development, located at 782 West Lane (aka: Former Iggy's Restaurant), subject to the following Directives:*

- 1) The Applicant's next step is to prepare and submit a Final Site Plan Application that complies with submittal provisions of CZC 12.21.110(e).*
- 2) The Final Site Plan design and layout is to substantially conform with this Conceptual Site Plan Acceptance, or as amended by this acceptance or by the City at Final Site Plan Approval.*
- 3) The Final Site Plan is to conform with the Conceptual Site Plan submittals presented to the Planning Commission and shall be corrected or amended as follows:*
 - a. Any mechanical equipment facilities or areas on the ground or on the roof must be screened from public view [see CZC 12.51.110(d) & (e)].*
 - b. Bank uses are required to have a minimum of three (3) stacked parking spaces for each drive-through lane [see CZC 12.52.(d)].*
 - c. The two-way drive isles need to be corrected from 24 feet to the Zoning Code required 25 feet in width (see CZC 12.52.310).*
 - d. The Final Site Plan shall address the required "storyboard" regarding the use of colors, materials, expected articulation parameters and design features (see CZC 12.63.040).*
 - e. The Final Site Plan submittal should address the expected "public amenities" [see CZC 12.63.040(b)]*
 - f. The Final Site Plan submittal is to address the style of the replacement lighting fixtures and are to be compatible with the existing fixture design and style.*
- 4) The applicant shall consult with the City Engineer regarding the proposed re-grading plan and determine how storm water runoff should be managed either by existing facilities or whether an on-site basin is needed to meet current applicable regulations.*

- 5) *A sign permit is required prior to the erection, installation, or use of the proposed signs, which is a separate and distinct approval from any site plan approval.*
- 6) *The site is located within a redevelopment area enacted by the City and is subject to other provisions and restrictions defined by the Redevelopment Agency. Therefore, the proposed changes and alterations to this specific site must obtain approval from the Redevelopment Agency.”*
- 7) *Lastly, these Conceptual Acceptance Directives are to help facilitate compliance with applicable City provisions regarding the proposed “Bank of America” Development. However, there may be other applicable City regulations that have not been identified at this level of review. Consequently, there may be other standards or adjustments identified during a Final Site Plan review.*

SUGGESTED REASONS FOR THE ACTION:

- a) *The Planning Commission finds that the Conceptual Site Plan has been reviewed in accordance with CZC 12.21.110(d).*
- b) *The Planning Commission finds that the Conceptual Site Plan has been reviewed considering the applicable provisions of the Centerville Zoning Ordinance, as outlined in the applicable Planning Staff Report.*
- c) *The Planning Commission finds that “Acceptance” of a Conceptual Site Plan is not intended to permit actual development of property pursuant to such plan but is to be prepared and reviewed merely to represent how the property could be developed [see CZC 12.21.110(d)(5)].*
- d) *Lastly, the Planning Commission finds that any conditions of acceptance are to be limited to conditions needed to conform the conceptual site plan to approval standards and ordinance requirements [see CZC 12.21.110(d)(4)].”*



NEW RETAIL BANK BRANCH

BAC CENTERVILLE
BUILDING ID: UTW-052

CONCEPTUAL SITE PLAN
06/03/20

782 W PARRISH LN
CENTERVILLE, UT 84014
PROJECT NUMBER: 057.7202.950

JLL
Project Manager
800 5th Avenue, 17th Floor
Seattle, WA 98104
Contact: Michael Lee
Telephone: 925.322.7334

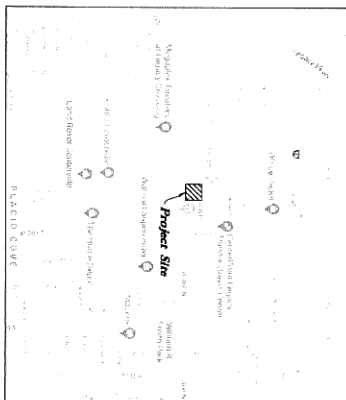
Gensler
Architect
201 E. Washington St
Suite 750
Phoenix, AZ 85004
Contact: Orlando Taylor
E-mail: orlando_taylor@gensler.com
Telephone: 602.523.4900

Anderson Wahlen
Civil Engineer/Landscape Architect
2010 N. Redwood Road
Salt Lake City, UT 84116
Contact: Eric Malmberg
Telephone: 801.410.8500

KPFF
Structural Engineer
609 E. South Temple, Suite 260
Salt Lake City, UT 84102
Contact: Jordan Terry
Telephone: 801.441.2204

Henderson Engineers
MEP Consultant
8311 West Sunset Road, Ste 240
Las Vegas, NV 89113
Contact: Erica Kerr
Telephone: 702.697.2188

Vicinity Map
Not to Scale



Vicinity Map
Not to Scale

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Civil Sheet Index

C.V	Cover Sheet
C01	ALTA Survey
C01	Demolition Plan
C2.1	Site Plan
C2.1	Grading Plan
C3.1	Utility Plan
L1.1	Landscape Plan
L3.1	Landscape & Irrigation Details

Basis of Bearings

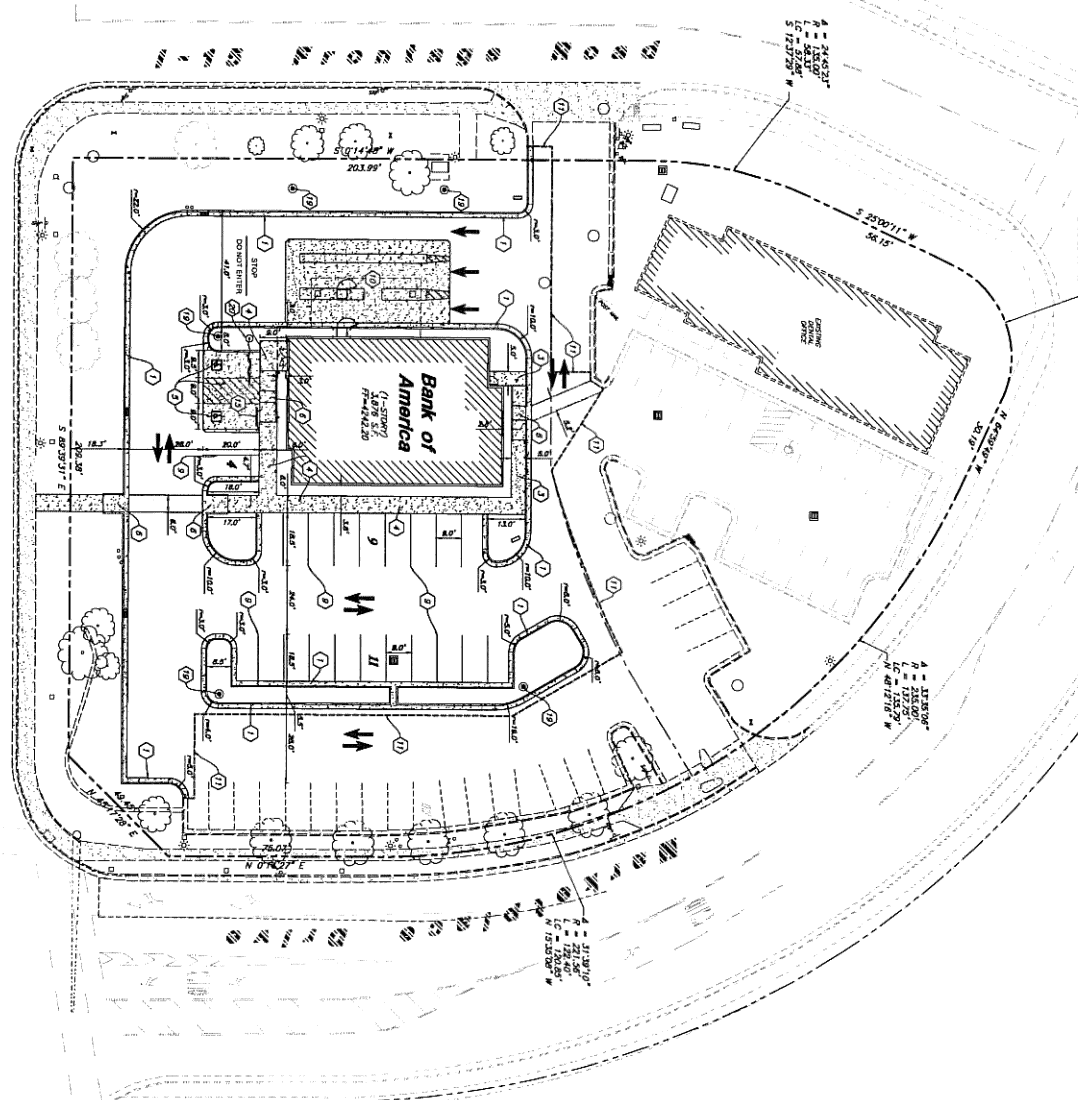
The fossil of *Isorthis* for this site is along the E-W side of the site between two found original sediment levels and was assigned the HRS Sixth Floor North Zone bearing of South 0° ± 2° West being rotated 0.2° DO Clockwise from the present (2011).

Benchmark

Confederate Monument in Washington Drive North of S.W.
Elevation = 4239.43 (Assigned)

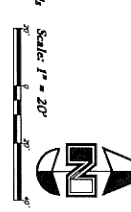
Legal Description

Submitted in Davis County, State of Utah, to-wit:
Let J. Camberly Delivery Substation, according to the Official Plat attached
on file and of record in the Davis County Recorder's Office.
The above described parcel is the same land described in a certain 234
Company's Title Commitment No. D-2019-132823 U/M, filed in Stansbury
The County's Company) Showing an effective date of September 27, 2019
2:00 AM



Bank of America - Centerville

Site Data
 Site Area = 43,557 s.f. (1.00 ac.)
 Landscape Area Provided = 10,851 s.f. (24.9%)
 Impervious Area Provided = 28,830 s.f. (66.2%)
 Building Area = 3,876 s.f. (8.9%)
 Parking Required = 2 spaces plus 1/200 s.f. = 22 stalls
 Parking Provided = 41 stalls (102.5/1000)



Scale: 1" = 20'

- Site Construction Notes**
1. Detail: 24" Dia. & 4" Deep
 2. Detail: 24" Dia. & 4" Deep
 3. Detail: 24" Dia. & 4" Deep
 4. Detail: 24" Dia. & 4" Deep
 5. Detail: 24" Dia. & 4" Deep
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 21. Detail: 24" Dia. & 4" Deep
 22. Detail: 24" Dia. & 4" Deep

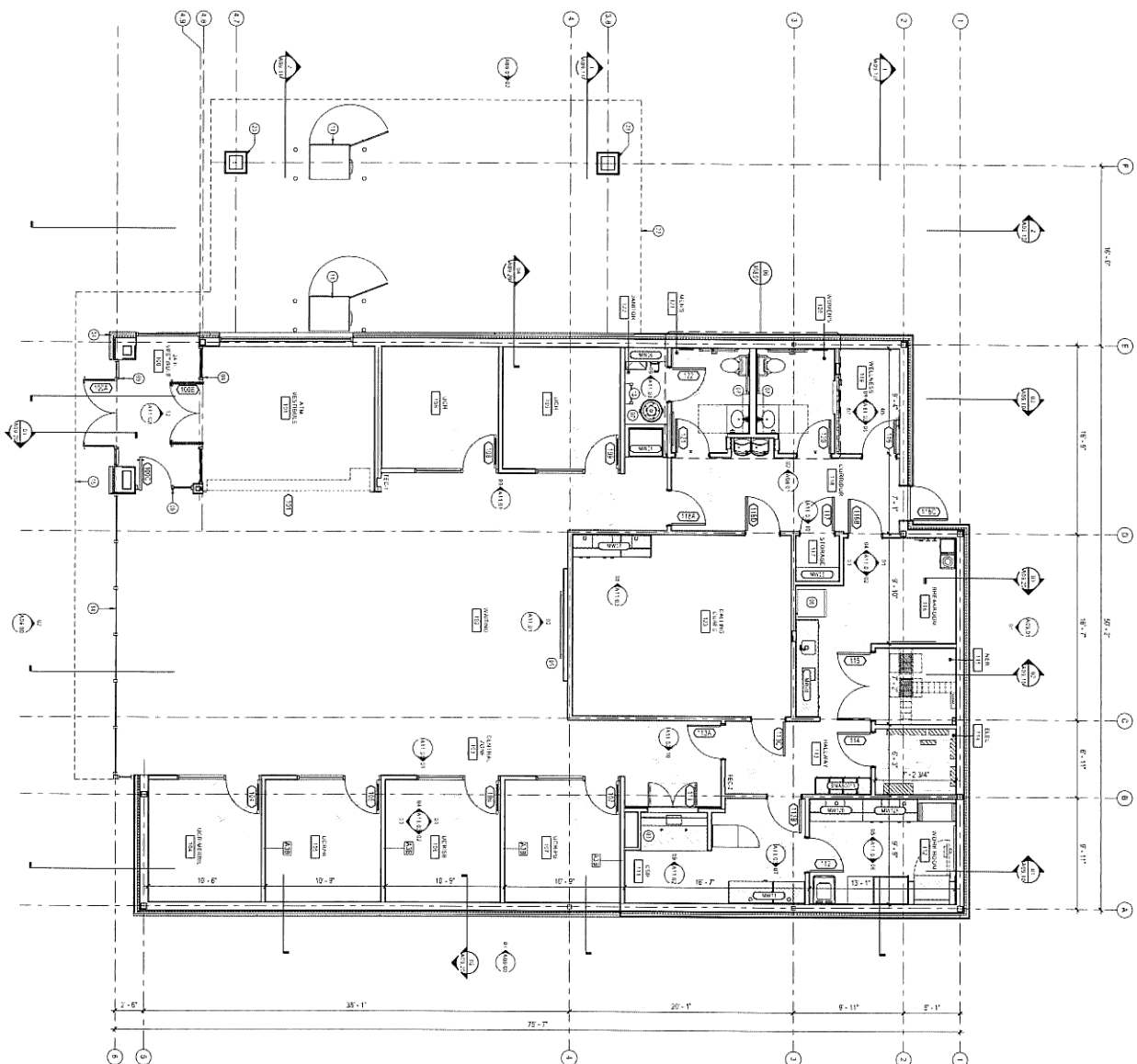
General Site Notes

1. All dimensions are to center of curb unless otherwise noted.
2. The lot line is shown in blue on the site plan.
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21. The lot line is shown in blue on the site plan.
22. The lot line is shown in blue on the site plan.

Construction Notes

The construction of the building and parking lot shall be in accordance with the following notes:

1. The building shall be constructed of concrete masonry.
2. The parking lot shall be constructed of asphalt.
3. The building shall be constructed of concrete masonry.
4. The parking lot shall be constructed of asphalt.
5. The building shall be constructed of concrete masonry.
6. The parking lot shall be constructed of asphalt.
7. The building shall be constructed of concrete masonry.
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18. The parking lot shall be constructed of asphalt.
19. The building shall be constructed of concrete masonry.
20. The parking lot shall be constructed of asphalt.
21. The building shall be constructed of concrete masonry.
22. The parking lot shall be constructed of asphalt.



BUILDING ID: UTW-052
BULLETIN: 01 - 2020

2011 Annual Conference 2011
 October 2-5
 Providence, RI
 Hyatt Regency Boston

GENERAL NOTES

1. FOR ADDITIONAL TECHNICAL NOTES, SHEET A600 AND A601 ARE REFERRED TO.
2. ALL PAINTING IS TO BE IN THE "A" OR "B" COLOR.
3. WALL PAINTING IS TO BE WHITE. FLOOR PAINTING IS TO BE WHITE.
4. UNLESS OTHERWISE NOTED, LOCATE PANELS SIDE OF ALL DOORS, 2' FROM PARTITION.
5. DENTURES POWER COULTERS AND POWERED TOOLS ARE TO BE USED TO PROTECT SURFACES AND TO PROTECT FIELD DIMENSIONS.
6. VERIFY ALL FIELD DIMENSIONS.
7. SEE SHEET A120 FOR PAINT SCHEDULE.
8. SEE SHEET A120 FOR ALL WORK DETAILS.
9. VERIFY ALL FOUNDATION FOR SLOPES TO DRAIN TO THE EXTERIOR.
10. LOCATIONS FOR ALL ELECTRICAL EQUIPMENT AND ACCESSORIES TO BE DETERMINED BY THE ELECTRICAL CONTRACTOR.
11. USE THERMAL AND PROTECTIVE INSULATION TO PROTECT TUBING, ATTACHMENTS, WELDED JOINTS, AND PIPING TO PREVENT FROST DAMAGE TO OCCUPANTS.
12. VERIFY ALL PROPOSED WORKING CLEARANCES.
13. VERIFY ALL PROPOSED WORKING CLEARANCES.
14. VERIFY ALL PROPOSED WORKING CLEARANCES.
15. VERIFY ALL PROPOSED WORKING CLEARANCES.

CONSTRUCTION PLAN

Scoring
As indicated

A02.01

© 2010 Corning

Goal / Signature

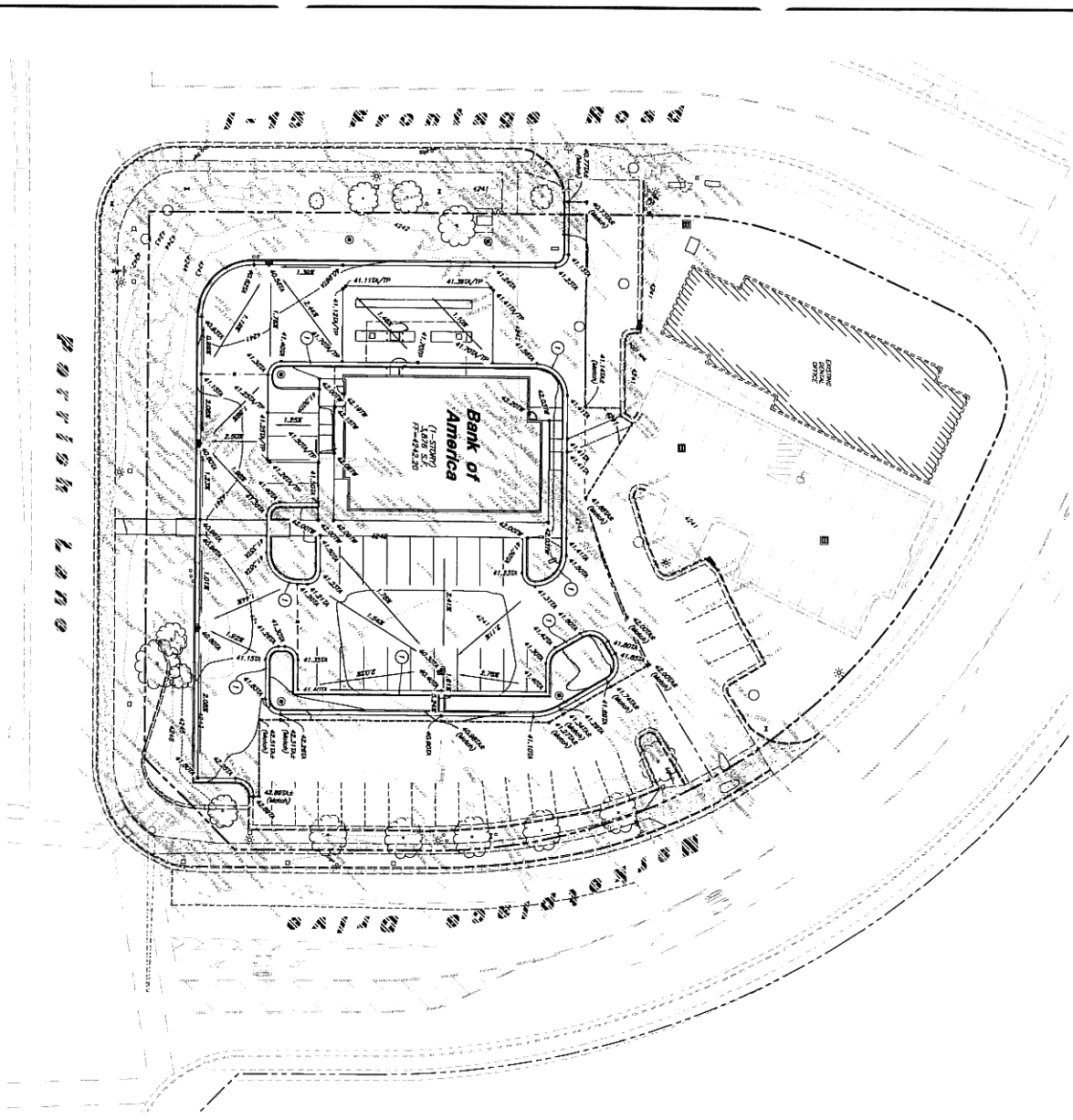
NOT FOR
CONSTRUCTION

BAC CENTERVILLE

057.7202.950

CONSTRUCTION PLAN

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Scale: 1" = 20'



General Grading Notes:

1. All grading shall be in accordance with the project geotechnical report.
2. All slopes shall be as indicated on the project geotechnical report.
3. All slopes shall be as indicated on the project geotechnical report.
4. The final grading shall be in accordance with the project geotechnical report.
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Curbs and Gutter Construction Notes:

1. All curbs and gutters shall be constructed in accordance with the project geotechnical report.
2. All curbs and gutters shall be constructed in accordance with the project geotechnical report.
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Sidewalk Construction Notes:

1. All sidewalks shall be constructed in accordance with the project geotechnical report.
2. All sidewalks shall be constructed in accordance with the project geotechnical report.
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19. All sidewalks shall be constructed in accordance with the project geotechnical report.
20. All sidewalks shall be constructed in accordance with the project geotechnical report.

NO ZONING REPORT PROVIDED.

FLOOD ZONE

[illegible]

MISCELLANEOUS NOTES

- | | |
|----|---|
| N1 | Property (the direct access to 700 W and MARKET PLACE, both public rights-of-way). |
| N2 | The address of 702 W. MARSHALL LANE was posted on property on the date of survey. |
| N3 | The location of S000701371, as shown on the platting of Marshall, post, per found monuments, were used as the basis of bearings to the survey. |
| N4 | The table below describes the type and number of posting signs existing within the property boundary. Signs (not necessarily with the same dimensions) are stated under the heading "other". Factual status on the boundary is stated under the heading "border". |

PARKING

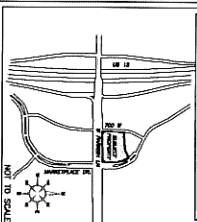
REGULAR (MARKED)	HANDICAP	COMPACT	TOTAL
69	3	0	72

- [illegible]

SURVEY RELATED ITEMS CORRESPONDING TO SCHEDULE B TITLE COMMITMENT

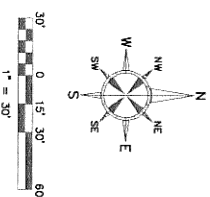
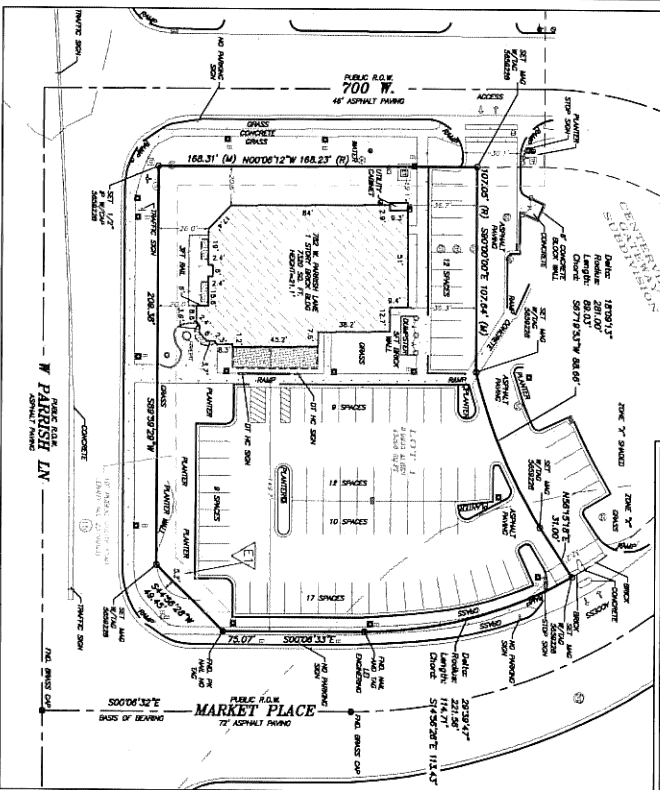
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LOCATION MAP



Aboveground utilities shown were located per Sonotube plot. N based on observed evidence not be corroborated. When utilized or not

detailed information is requested, the client is advised that excavation and/or a private utility locate request may be necessary. The estimate of underground utility markings, if any, are shown hereon.



THE LAND IS DESCRIBED AS FOLLOWS:

SITUATED IN DAVIS COUNTY, STATE OF UTAH, TO-WIT:
LOT 1, CENTERVILLE GATEWAY SUBDIVISION, ACCORDING TO THE OFFICIAL PLAT THEREOF, ON
FILE AND OF RECORD IN THE DAVIS COUNTY RECORDER'S OFFICE.

STATEMENT OF ENCROACHMENTS

 ROCK PLANTER WALL EXTENDS OUTSIDE OF THE SUBJECT PROPERTY A
MAXIMUM OF 5.2 FEET, MORE OR LESS, AS SHOWN.

SYMBOL LEGEND

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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ALTA/NSPS LAND TITLE SURVEY

FOR
IGGYS SPORTS GRILL

PROPERTY ADDRESS: 702 W. PARKSH LANE, CENTVILLE, UT 84014
ALTA SURVEY BASED AND RELIED ON LANDMARK TITLE COMPANY'S
TITLE COMMITMENT NO.: D-2018-157872 U/A/1, (ISSUED FOR
STEWART TITLE COMPANY COMPANY) BEARING AN EFFECTIVE DATE OF:
SEPTEMBER 27, 2019 AT 8:00 AM.

CERTIFICATION

TO: DEEMED INVESTMENTS UTM LLC, A UTM LIMITED LIABILITY COMPANY, BANK OF AMERICA, AND PARTNER ENGINEERING AND SCIENCE, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 NAD83 STANDARD DETAIL REQUIREMENTS FOR ALIQUOTS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSD, AND INCLUDES ITEMS 2, 3, 4, 6, 6.1, 6.2, 7.1, 7.2, 7.3, 7.4, 7.5, 8, 9, 13, 14, 15, 17, & 20 OF TAKE A THEREOF. THE FIELD WORK WAS COMPLETED ON 10-29-2019.

DATE OF PLAT OR MAP-

PRELIMINARY
DRAWING

FOR REVIEW



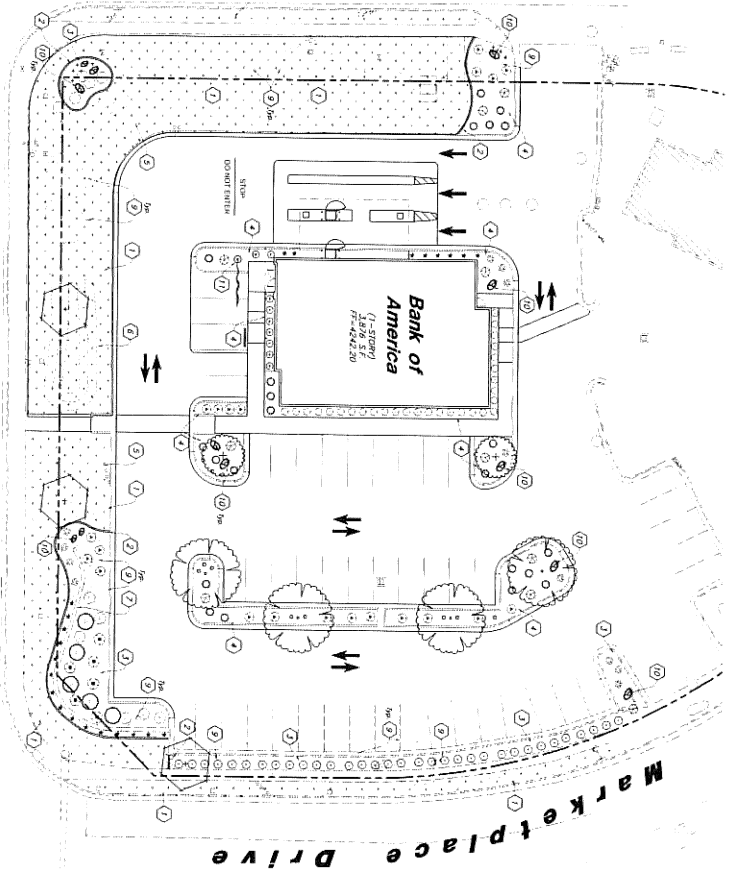
RED PLAINS
SURVEYING COMPANY

Survey Prepared By:
Red Plains Surveying Corporation
1817 S. Harvard Avenue
Oklahoma City, OK 73128
Tel: 405-603-7842
Fax: 405-603-7852

PARTNER
Engineering and Science, Inc.

4815 N. 12th St STE 201
Phoenix, AZ 85014
T 657-258-2756
mhudn@parneresi.com

Parrish Lane

[illegible]

- [illegible]

1. See Section 1.1 for Executive Details.
2. All Limestone Material Shall be Fully Inspected by an Automatic Inspection System Due for Pulverizing Areas and Supply for Same Areas.
3. Actual Limestone Material is Subject to Allowance at all New and Existing Units.
4. Unless inspection Components Shall be Shown Otherwise Must Refer to Actual Key Areas for Allowance.
5. All Areas Discovered by Contribution Shall be Limestone and Must Call Limestone.
6. Existing Limestone Shall Be Inspected and Be Founding Along Pulverizing Line to Screen Pulverizing Screen Shall be 1" High to Screen Weighing, a Pulverizing Screen Shall be Added Along Pulverizing Screen.

[illegible][illegible]

EXERCISES	EXERCISES	EXERCISES
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EXERCISES	EXERCISES	EXERCISES
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EXERCISES	EXERCISES	EXERCISES

[illegible]

Landmark Area Provided = 6,584 sq. ft. (25%)
Landmark Area Required = 10,851 sq. ft. (35%)
Exiting New Lane Area = 5,589 sq. ft. (21%)
Existing New Slab Area = 5,589 sq. ft. (21%)
Trees Required = 13 Trees (1) Provided **
Parking Lot Landmark Required = 1,113 sq. ft.
Parking Lot Landmark Provided = 1,113 sq. ft.
Parking Lot Landmark Required = 1,400 sq. ft.
Pavement Road Trees Required = 23 Trees
Parking Lot Landmark Provided = 1,400 sq. ft.
Landmark Area (New) Exceeds Minimum Area
** Trees Provided is based on the Required 15 Acres

SIZE	REMARKS
2" Cn / 6-10" Ht.	45" Ht. / 18" Sp.
SIZE	REMARKS
6-8" Ht.	20" Ht. / 6" Sp.
SIZE	REMARKS
2" Cn. / 6-8" Ht.	20" Ht. / 12" Sp.
2" Cn. / 5-8" Ht.	20" Ht. / 10" Sp.
SIZE	REMARKS

Bank of America - Centerville

782 West Parrish Lane
Centerville, Utah



ANDERSON WAHLEN & ASSOCIATES
2010 North Boulevard Road, Suite 1000, Cary, North Carolina
(919) 551-4552 • AWA.com/nc

LET NO.
L1.

1



1 SHRUB PLANTING NOT TO SCALE NOT FLARE SHALL BE NOT TO SCALE 1. SHRUBS SHALL BE PLANTED WITH THE ROOT FLARE EXPOSED TO THE SOIL SURFACE. 2. SOIL SHALL BE REFINISHED TO ORIGINAL GRADE.	2 DECIDUOUS TREE PLANTING NOT TO SCALE NOT FLARE SHALL BE NOT TO SCALE 1. DECIDUOUS TREES SHALL BE PLANTED WITH THE ROOT FLARE EXPOSED TO THE SOIL SURFACE. 2. SOIL SHALL BE REFINISHED TO ORIGINAL GRADE.	3 EVERGREEN TREE PLANTING NOT TO SCALE NOT FLARE SHALL BE NOT TO SCALE 1. EVERGREEN TREES SHALL BE PLANTED WITH THE ROOT FLARE EXPOSED TO THE SOIL SURFACE. 2. SOIL SHALL BE REFINISHED TO ORIGINAL GRADE.	4 LANDSCAPE CONCRETE CURBING NOT TO SCALE NOT TO SCALE 1. CONCRETE CURBING SHALL BE PLANTED WITH THE ROOT FLARE EXPOSED TO THE SOIL SURFACE. 2. SOIL SHALL BE REFINISHED TO ORIGINAL GRADE.	5 LANDSCAPE BOLLARD NOT TO SCALE NOT TO SCALE 1. LANDSCAPE BOLLARDS SHALL BE PLANTED WITH THE ROOT FLARE EXPOSED TO THE SOIL SURFACE. 2. SOIL SHALL BE REFINISHED TO ORIGINAL GRADE.
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Anderson Wahlen & Associates

2010 North Rockwood Road, Salt Lake City, Utah 84116
(801) 521-5529 - AWAengineering.net

Bank of America - Centerville

762 West Parrish Lane
Centerville, Utah

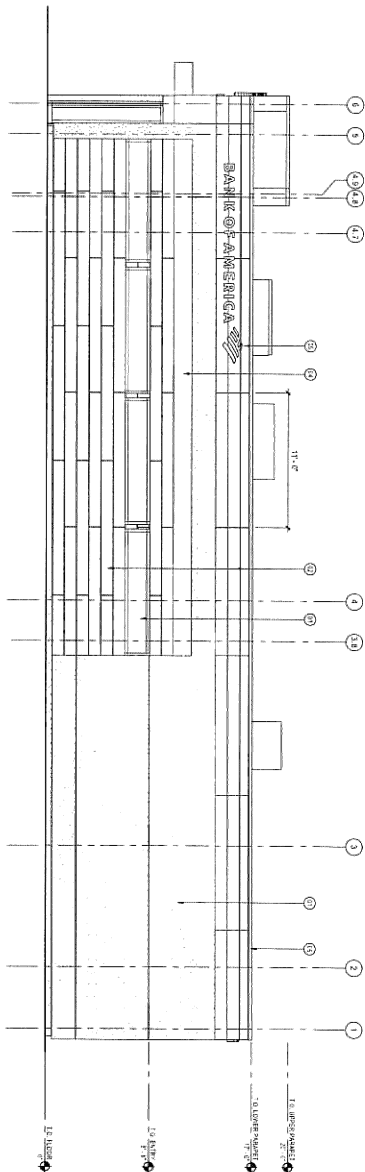
19 March 2020

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811

Know what's below.
Call before you dig.

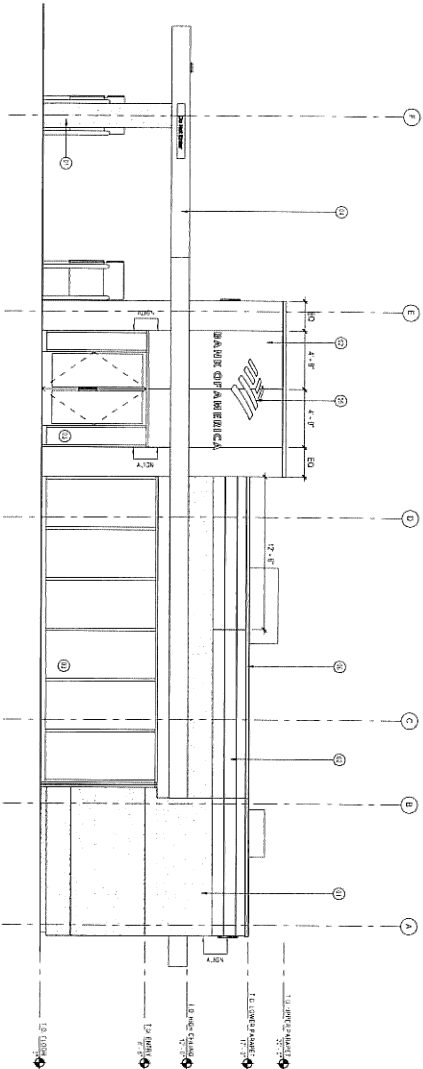




EXTERIOR ELEVATION - EAST

Scale: 1/4" = 1'-0"

01



EXTERIOR ELEVATION - SOUTH

Scale: 1/4" = 1'-0"

02

SHEET NOTES

- 1. THIS IS THE FINAL ELEVATION OF THE BUILDING.
- 2. ALL DIMENSIONS ARE IN FEET AND INCHES.
- 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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- 11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

BANK OF AMERICA
BAC CENTERVILLE
NEW STORE
782 W PARRISH LN
CENTERVILLE, UT 84014
BUILDING ID: UTW-052
BULLETIN: 01 - 2020

Gensler
200 E. Main Street, 21st Floor
Salt Lake City, UT 84111
Phone: 801.462.1000
Fax: 801.462.1001
www.gensler.com

GENERAL NOTES

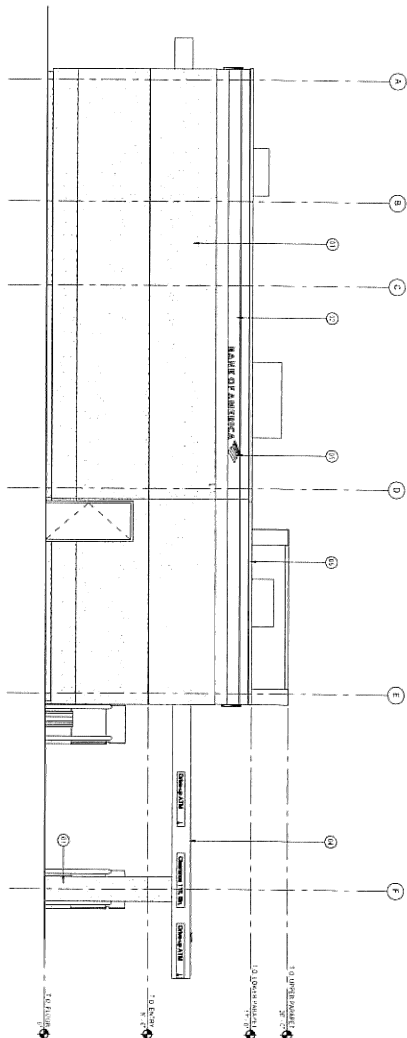
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DATE: 05/25/2016

**NOT FOR
CONSTRUCTION**

Project Name: BAC CENTERVILLE
Project Number: 057.7202.950
Drawing Title: EXTERIOR ELEVATIONS

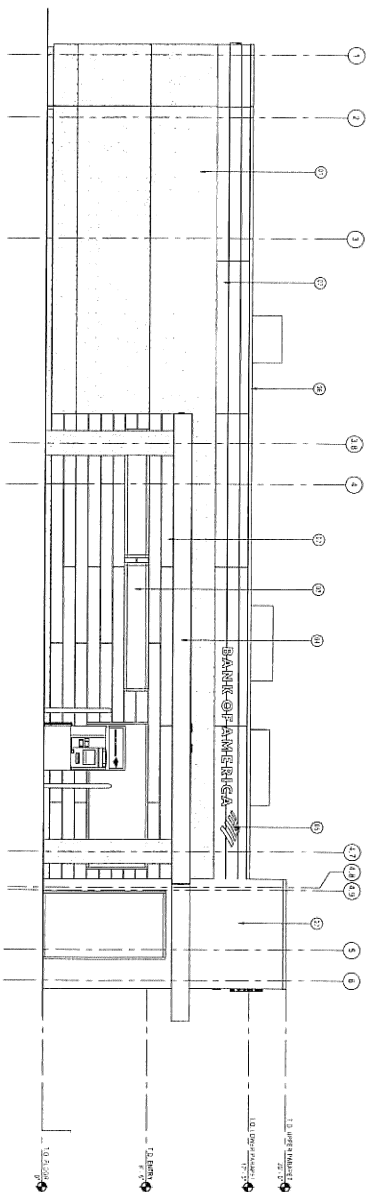
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EXTERIOR ELEVATION - NORTH

DATE: 10-1-18

01



EXTERIOR ELEVATION - WEST

DATE: 10-1-18

02

SHEET NOTES

1. FURNISHINGS TYPICAL TO SAME ACTIVITIES
2. FURNISHINGS TYPICAL TO SAME ACTIVITIES
3. ALUMINUM WALL PANELS TO COORDINATE WITH EXISTING WALL PANELS
4. ALUMINUM WINDOW SYSTEM TO COORDINATE WITH EXISTING WINDOW SYSTEM
5. EXISTING BUILDING TO BE MAINTAINED AS IS
6. EXISTING BUILDING TO BE MAINTAINED AS IS
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10. EXISTING BUILDING TO BE MAINTAINED AS IS

BANK OF AMERICA

BAC CENTERVILLE
NEW STORE

782 W FARRISH LN
CENTERVILLE, UT 84014
BUILDING ID: UTW-052
BULLETIN: 01 - 2020

Gensler

225 WEST 10TH AVENUE
SUITE 2000
DENVER, CO 80202
TEL: 303.733.7000
WWW.GENSLER.COM

GENERAL NOTES

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NOT FOR
CONSTRUCTION

BAC CENTERVILLE

057.7202.990

EXTERIOR ELEVATIONS

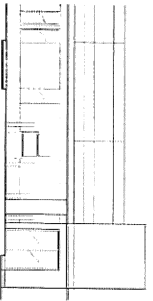
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BANK OF AMERICA

Existing Photo

Proposed Photo

Site Number: UTM-025-FC



Existing	Proposed
Asset Zone: Exterior	Asset Zone: Exterior
Sign Type: 002	Sign Type: 002
Sign Number: 002	Sign Number: 002
Sign Type: 002	Sign Type: 002
Face Material: Aluminum	Face Material: Aluminum
Overall Height: 12'-0"	Overall Height: 12'-0"
Overall Width: 12'-0"	Overall Width: 12'-0"
Letter Height: 6"	Letter Height: 6"
Letter Spacing: 1/2"	Letter Spacing: 1/2"
Letter Color: White	Letter Color: White
Letter Background: Illuminated	Letter Background: Illuminated
Notes: None	Notes: None
Restoration Notes: None	Restoration Notes: None
Wall Material: None	Wall Material: None
Sign Comment: None	Sign Comment: None

Bank of America

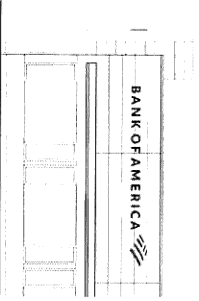
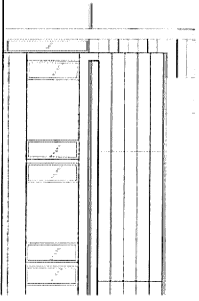
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BANK OF AMERICA

Existing Photo

Proposed Photo

Site Number: UTM-025-FC



Existing	Proposed
Asset Zone: Exterior	Asset Zone: Exterior
Sign Type: 002	Sign Type: 002
Sign Number: 002	Sign Number: 002
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Restoration Notes: None	Restoration Notes: None
Wall Material: None	Wall Material: None
Sign Comment: None	Sign Comment: None

Bank of America

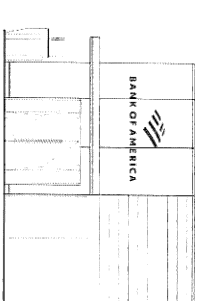
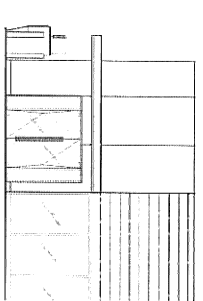
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BANK OF AMERICA

Existing Photo

Proposed Photo

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Bank of America

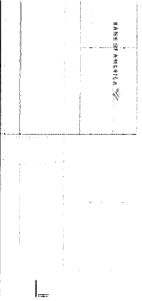
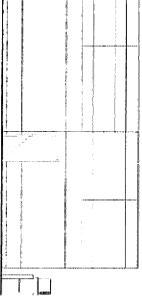
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BANK OF AMERICA

Existing Photo

Proposed Photo

Site Number: UTM-025-FC



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Sign Type: 002	Sign Type: 002
Sign Number: 002	Sign Number: 002
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Restoration Notes: None	Restoration Notes: None
Wall Material: None	Wall Material: None
Sign Comment: None	Sign Comment: None

Bank of America

monicle

Bank of America

2020 PROTOTYPE

PROJECT ADDRESS 1

PROJECT ADDRESS 2

SERIAL NUMBER 10

DESIGNATION

BULLETIN

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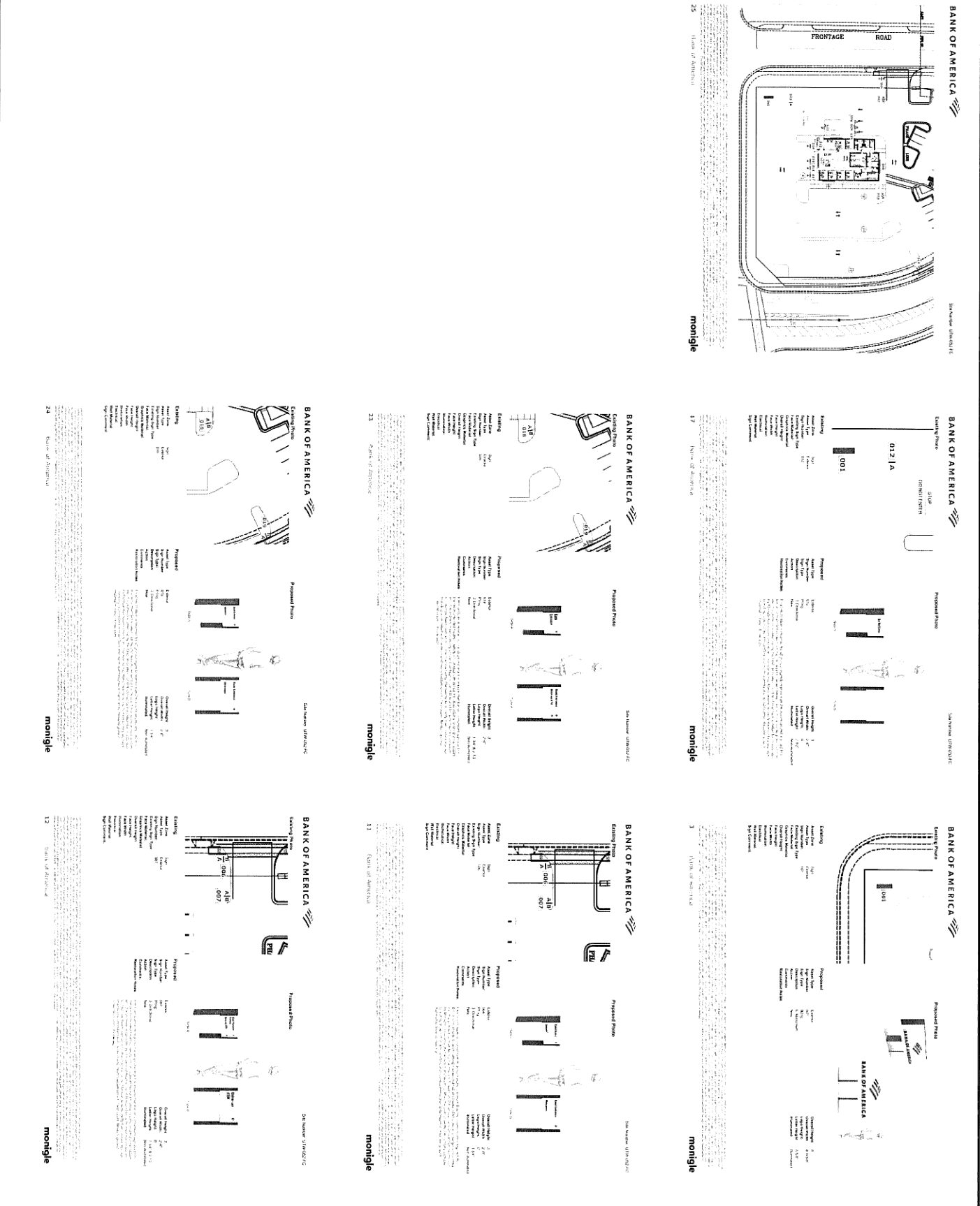
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PLANNING COMMISSION MINUTES OF MEETING**Wednesday, June 24, 2020****7:00 p.m.**

A quorum being present electronically via Zoom and live streamed on the Centerville City YouTube channel due to Infectious Disease COVID-19, the meeting of the Centerville City Planning Commission was called to order at 7:00 p.m.

MEMBERS PRESENT

Kevin Daly, Vice Chair
Cheylynn Hayman, Chair
Spencer Summerhays
Christina Wilcox
Becki Wright

MEMBER ABSENT

Mason Kjar

STAFF PRESENT

Cory Snyder, Community Development Director
Lisa Romney, City Attorney
Mackenzie Wood, Assistant Planner

VISITORS

Jansen Davis, CPT Executive Director
Orlando Taylor

PLEDGE OF ALLEGIANCE

OPENING COMMENT/LEGISLATIVE PRAYER Commissioner Wright

ZONING MAP AMENDMENT – SUMMERHILL LANE DEVELOPMENT

Mackenzie Wood, Assistant Planner, explained that the Zoning Map Amendment for Summerhill Lane Development was postponed until July 8, 2020.

**PUBLIC HEARING – CONDITIONAL USE PERMIT – CENTERPOINT THEATRE
CONCERT IN THE PARK-ING LOT**

CenterPoint Theatre requested a Conditional Use Permit to conduct concerts in the facility parking lot while public gathering restrictions are in place. The plans were reviewed by South Davis Metro Fire, Centerville Police Department, and Davis County Health Department. Performances would be planned for Friday and Saturday evenings, and would not go beyond 10:00 p.m. Ms. Wood stated Staff recommends approval with conditions included in the staff report.

Jansen Davis, CPT Executive Director, answered questions from the Planning Commission. Chair Hayman opened a public hearing at 7:20 p.m., and closed the public hearing seeing that no one electronically indicated a desire to comment.

Commissioner Wright **moved** to approve the Conditional Use Permit request for CenterPoint Legacy Theatre at 525 North 400 West subject to the following conditions and reasons for action. Commissioner Summerhays seconded the motion, which passed by unanimous vote (5-0).

Conditions:

1. This Conditional Use Permit shall apply only to the user space located at 525 North 400 West.
2. This Conditional Use Permit approval is for the Recreation and entertainment, outdoor use.
3. All vehicles shall be parked within parking stalls and not in access lanes.
4. This Conditional Use Permit approval is for performances on Friday and Saturday nights, with possible Monday night performances.
5. All performances, noise, and lighting, shall be terminated by 10:00 p.m. each night.
6. This permit shall expire on August 11, 2020.

Reasons for the Action:

- a) The Planning Commission finds that the land use of recreation and entertainment, outdoors is a conditional use within the Public Facilities-High Zone [CZC 12.36 (Table of Uses)].
- b) The use is consistent with the expectation of the City's General Plan [Section 12-480-5].
- c) The Planning Commission finds that with the implemented conditions of approval, the criteria for issuance of the Conditional Use Permit have been satisfied, as described in the applicable staff report.

PUBLIC HEARING – BANK OF AMERICA CONCEPTUAL SITE PLAN

Cory Snyder, Community Development Director, explained the Conceptual Site Plan submitted for Bank of America (former Iggy's location). The owner desires to amend the approved site plan for the property with demolition of the existing building and construction of a new main building. Mr. Snyder mentioned Staff concerns, and said he was comfortable with Conceptual Site Plan approval with recommended directives.

Commissioner Wright asked if planned UDOT revisions to the Parrish Lane interchange and the Parrish Lane/Market Place Drive intersection were taken into account. Mr. Snyder said it was anticipated there would be some acquisition of land on Parrish Lane for the UDOT project, but exact amounts and locations were not known. He said the RDA would address those issues.

Orlando Taylor, representing the applicant, stated a storyboard would be provided, and spoke to other concerns raised by Mr. Snyder. Chair Hayman opened a public hearing at 7:41 p.m., and closed the public hearing seeing that no one electronically indicated a desire to comment. Commissioner Summerhays disclosed that the firm for which he works professionally does business in the same market as Mr. Taylor's firm (Gensler), but stated he was not aware of any current business between the two companies that would pose a conflict of interest.

Commissioner Daly **moved** to accept the Conceptual Site Plan Application, submitted by Deerwood Investments Utah LLC, for the proposed Bank of America development, located at 782 West Parrish Lane, subject to the following directives and reasons for action. Commissioner Summerhays seconded the motion, which passed by unanimous vote (5-0).

Directives:

1. The applicant's next step is to prepare and submit a Final Site Plan Application that complies with submittal provisions of CZC 12.21.110(e).
2. The Final Site Plan design and layout is to substantially conform with this Conceptual Site Plan Acceptance, or as amended by this acceptance or by the City at Final Site Plan Approval.
3. The Final Site Plan is to conform with the Conceptual Site Plan submittals presented to the Planning Commission and shall be corrected or amended as follows:
 - a. Any mechanical equipment facilities or areas on the ground or on the roof must be screened from public view [see CZC 12.51.110(d) & (e)].
 - b. Bank uses are required to have a minimum of three (3) stacked parking spaces for each drive-through lane [see CZC 12.52.(d)].
 - c. The two-way drive isles need to be corrected from 24 feet to the Zoning Code required 25 feet in width [see CZC 12.52.310].
 - d. The Final Site Plan shall address the required "storyboard" regarding the use of colors, materials, expected articulation parameters and design features [see CZC 12.63.040].
 - e. The Final Site Plan submittal should address the expected "public amenities" [see CZC 12.63.040(b)].
 - f. The Final Site Plan submittal is to address the style of the replacement lighting fixtures which are to be compatible with the existing fixture design and style.
4. The applicant shall consult with the City Engineer regarding the proposed re-grading plan and determine how storm water runoff should be managed either by existing facilities or whether an on-site basin is needed to meet current applicable regulations.
5. A sign permit is required prior to the erection, installation, or use of the proposed signs, which is a separate and distinct approval from any site plan approval.
6. The site is located within a redevelopment area enacted by the City and is subject to other provisions and restrictions defined by the Redevelopment Agency. Therefore, the proposed changes and alterations to this specific site must obtain approval from the Redevelopment Agency.
7. Lastly, these Conceptual Acceptance Directives are to help facilitate compliance with applicable City provisions regarding the proposed "Bank of America" development. However, there may be other applicable City regulations that have not been identified at this level of review. Consequently, there may be other standards or adjustments identified during a Final Site Plan review.

Reasons for the Action:

- a) The Planning Commission finds that the Conceptual Site Plan has been reviewed in accordance with CZC 12.21.110(d).
- b) The Planning Commission finds that the Conceptual Site Plan has been reviewed considering the applicable provisions of the Centerville Zoning Ordinance, as outlined in the applicable Planning Staff Report.
- c) The Planning Commission finds that "Acceptance" of a Conceptual Site Plan is not intended to permit actual development of property pursuant to such plan but is to be prepared and reviewed merely to represent how the property could be developed [see CZC 12.21.110(d)(5)].
- d) Lastly, the Planning Commission finds that any conditions of acceptance are to be limited to conditions needed to conform the conceptual site plan to approval standards and ordinance requirements [see CZC 12.21.110(d)(4)].

ZONING CODE AMENDMENTS – CHAPTER 12.69 (MEDICAL CANNABIS FACILITIES)

Lisa Romney, City Attorney, stated the proposed Zoning Code Amendments were postponed to the July 8, 2020 meeting.

COMMUNITY DEVELOPMENT DIRECTOR REPORT AND COUNCIL REPORT

The Planning Commission is scheduled to meet next on July 8, 2020. Commissioner Wright suggested a presentation from the Centerville Tree Board at a future Planning Commission meeting.

MINUTES REVIEW AND ACCEPTANCE

The minutes of the June 10, 2020 Planning Commission meeting were reviewed. Chair Hayman requested an amendment. Commissioner Wright **moved** to accept the minutes as amended. Commissioner Daly seconded the motion, which passed by unanimous vote (5-0).

ADJOURNMENT

At 7:56 p.m., Chair Haman **moved** to adjourn the meeting. Commissioner Wright seconded the motion, which passed by unanimous vote (5-0).

Leah Romero, City Recorder

Date Approved

Katie Rust, Recording Secretary

Minutes of the **Redevelopment Agency of Centerville** meeting held Tuesday, December 3, 2019 at 9:20 p.m. in the Centerville City Council Chambers, 250 North Main Street, Centerville, Utah.

DIRECTORS PRESENT

Tamilyn Fillmore
William Ince
Stephanie Ivie, Vice Chair
George McEwan
Robyn Mecham
Clark Wilkinson, Chair

STAFF PRESENT

Brant Hanson, RDA Executive Director
Lisa Romney, City Attorney
Leah Romero, City Recorder

VISITORS

Matthew Salcedo, ACP Management
Adam Lewis, Situs Retail Group
Chris Christiansen, Bank of America
Jansen Davis, Executive Director, CenterPoint Theatre
Paul Cutler, Vice Chair, CPT Board of Directors

CENTERPOINT THEATRE

Jan Davis, Executive Director of CenterPoint Legacy Theatre (CPT), presented plans to add a warming kitchen at the Theatre facility to more easily facilitate large events. CPT staff will have Food Handler Permits, but the Health Department will not require annual inspections because food will be brought in already prepared, not cooked from scratch onsite. Lisa Romney, City Attorney, explained that any alterations and improvements to the Theatre building require written approval from the RDA. Prior to making any alterations or improvements, CPT is required to submit to the RDA for review and approval the design drawings and specifications for improvements. These drawings are included in the Staff Report for this matter.

Director McEwan made a **motion** to approve kitchen improvements and drawings subject to compliance with all Lease provisions regarding alterations and improvements and use of the Capital Projects Reserve Fund. Director Ince seconded the motion, which passed by unanimous vote (5-0).

Mr. Davis presented CPT 2020 Annual Budgets, and answered questions from the RDA Board. The RDA and ACB shall review the proposed budgets and provide any recommended changes to CPT by December 10th. Pursuant to the terms of the Lease Agreement, CPT shall adopt the annual budgets, as reviewed by the RDA and ACB, by December 20th.

FIFTH AMENDMENT TO THE AGREEMENT FOR DEVELOPMENT OF LAND – LOT 1 OF CENTERVILLE GATEWAY SUBDIVISION – MARKETPLACE DRIVE AND PARRISH LANE – TABLED FROM NOVEMBER 19, 2019

Chris Christiansen with Bank of America answered some of the questions raised at the November 19 RDA meeting. Mr. Christiansen said Bank of America anticipates hiring 5-10 full-time employees from South Davis County at a minimum starting wage of \$20 per hour to staff the proposed Centerville office. The intention is to sign a 15-year land lease with an option to renew. Mr. Christiansen explained Bank of America's plans to expand in Utah, and ways Bank of America gives back to communities.

1 Responding to a question from Director Fillmore, Brant Hanson commented that indirect
2 costs and revenues of switching from a restaurant use to a financial institution use are difficult to
3 quantify. He stated the direct cost to the City in annual sales tax and property tax revenue would
4 be a loss of \$10,000-\$15,000.
5

6 Director Mecham expressed concern with the appearance of the subject property as part
7 of the gateway to the City. The RDA was assured that Bank of America would build a beautiful,
8 state-of-the-art building that would look fantastic in the City's gateway. Director Fillmore
9 commented that the decision is difficult because the desire had been for sit-down restaurant use
10 to support the Performing Arts Center. Mr. Hanson said Staff agrees the City needs more sit-
11 down restaurants; however, the subject location is not ideal for the type of restaurant desired.
12 Staff is looking into other possible locations for restaurant use. Director McEwan spoke in favor
13 of the proposed amendment.
14

15 Director McEwan made a **motion** to approve the Fifth Amendment to the Agreement for
16 Land Development for the Centerville Gateway Subdivision to allow a bank or financial
17 institution use on Lot 1 and to accept Bank of America, NA as the approved user of Lot 1.
18 Director Fillmore seconded the motion. Mr. Hanson said he would direct Staff to put together
19 numbers regarding indirect impacts of the Amendment. The motion passed by majority vote (3-
20 2), with Directors Fillmore, Ince, and McEwan in favor and Vice Chair Ivie and Director Mecham
21 dissenting.
22

23 Director Fillmore left the meeting at 10:29 p.m.
24

25 MINUTES REVIEW AND ACCEPTANCE

26
27 The minutes of the November 19, 2019 RDA meeting were reviewed. Director McEwan
28 **moved** to accept the minutes. Director Ince seconded the motion, which passed by unanimous
29 vote (4-0).
30

31 ADJOURNMENT

32
33 At 10:30 p.m., Director McEwan made a **motion** to adjourn the meeting. Vice Chair Ivie
34 seconded the motion, which passed by unanimous vote (4-0).
35
36
37
38

39 _____
40 Brant Hanson, RDA Executive Director

December 17, 2019

Date Approved

41
42 *Katie Rust*
43 _____
44 Katie Rust, Recording Secretary

