

CENTERVILLE CITY PLANNING COMMISSION AGENDA

NOTICE IS HEREBY GIVEN THAT THE CENTERVILLE CITY PLANNING COMMISSION WILL HOLD ITS REGULAR PUBLIC MEETING AT 7:00 PM ON DECEMBER 11, 2019 AT THE CENTERVILLE CITY COMMUNITY CENTER AND CITY HALL COUNCIL CHAMBERS, 250 NORTH MAIN STREET, CENTERVILLE, UTAH. THE AGENDA IS SHOWN BELOW.

Meetings of the City Council of Centerville City may be conducted via electronic means pursuant to Utah Code Ann. 52-4-207, as amended. In such circumstances, contact will be established and maintained via electronic means and the meeting will be conducted pursuant to the Electronic Meetings Policy established by the City Council for electronic meetings.

Centerville City, in compliance with the Americans With Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance, including hearing devices. Persons requesting these accommodations for City-sponsored public meetings, services, programs, or events should call Jacob Smith, Centerville Management Services Director, at 801-295-3477, giving at least 24 hours notice prior to the meeting.

The full packet of backups can be found at <http://centerville.novusagenda.com/agendapublic>.

7:00 PM A. WELCOME AND ROLL CALL

B. PLEDGE OF ALLEGIANCE

C. PRAYER OR THOUGHT

Cheylynn Hayman, Commission Chair

D. COMMISSION BUSINESS

1. Parking Modification - Administrative Decision - 125 South Main Street
2. Public Hearing - Administrative Decision - Conceptual Site Plan for Legacy Lands Lot 1
3. Public Hearing - Zoning Code Amendments - Chapter 12.69 (Medical Cannabis Facilities)

LEGISLATIVE DECISION

Consider proposed Zoning Code Amendments enacting Chapter 12.69 regarding Medical Cannabis Facilities - Ordinance No. 2019-26

4. Discussion - Subdivision Ordinance Updates - Chapter 20 (Enforcement)
Continue discussion of proposed revisions to City Subdivision Ordinance - CMC 15 (Subdivisions)
5. 2020 Planning Commission Meeting Schedule
Discuss the 2020 Planning Commission Meeting Agenda per Utah Code 52-4-202(a).
6. Community Development Director's Report and City Council Report
Next Planning Commission Meeting:
 - January 8, 2020
 - Enjoy the Holiday Season

City Council Report:

- **Adopted** Text Amendment for SCP Zone for Equipment Rental & Sales
- **Tabled** Devore Property Rezone from A-L to R-L

- **Approved** RDA Amendment - Allowing a Bank Use on the Island Parcel (former Iggy's building)

E. MINUTES REVIEW and ACCEPTANCE

November 13, 2019

F. ADJOURNMENT

CENTERVILLE

Staff Backup Report 12/11/2019

Item No. 1

Short Title: Parking Modification - Administrative Decision - 125 South Main Street

Initiated By:

Scheduled Time:

SUBJECT

RECOMMENDATION

BACKGROUND

ATTACHMENTS:

Description

- ▢ 12-11-19 PC Staff Report Old Fire Station Parking Modification
- ▢ Old Fire Station - Parking Modification Request
- ▢ Old Fire Station Parking Study
- ▢ Old Fire Station - Engineering Plans

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 1**

PROPERTY OWNER: LAYTON AND ASSOCIATES LLC
380 N 200 W, SUITE 201
BOUNTIFUL UTAH
RACHELLE@LAYTONCPAS.COM

APPLICANT: SEE PROPERTY OWNER INFORMATION

PROPERTY LOCATION: OLD FIRE STATION
125 SOUTH MAIN STREET

PARCEL SIZE: 0.40

ZONING DISTRICT: COMMERCIAL-MEDIUM

APPLICATION: PARKING MODIFICATION

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

Background

Layton and Associates LLC is under contract for the old fire station building located at 125 South Main. They wish to house their CPA firm in the building, as well as a boutique/specialty gym. The two uses, CPA firm and gym, would not occur at the same time. The CPA firm would be open from 9 a.m. to 5 p.m. and the specialty gym would be open 5:30 a.m. to 8:30 a.m. and 5:30 p.m. to 8:30 p.m. Under the ordinance, the two different uses combined would require more parking than is currently provided at the site. Based on the non-overlapping uses, the applicant argues that the required number of parking stalls is unnecessary for the intended use of the property.



Zoning Code**Parking Modification Allowed by Planning Commission**

12.52.110 (a) Modification Permitted. The number of parking spaces required under CZC 12.52.060 may be modified in accordance with the provisions in this Section. The purpose of such modifications is to avoid creating unnecessary parking areas that will be essentially unused. In considering a modification, the Planning Commission may require a parking study to be completed as provided in Subsection (e).

12.52.110(c) The Planning Commission may modify the number of parking spaces required or allowed for commercial, office, or mixed-use development after considering the following factors and finding that adequate parking will be provided:

1. Total number of spaces that would otherwise be required for each individual establishment in the development;
2. Hours of operation for each business establishment located in the development, including peak business hours;
3. Estimated trade-off between businesses which are open when others are closed;
4. Availability of on-street or shared parking;
5. Transportation alternatives, including proximity to transit stations; and
6. Car or van pooling programs available to users of the development.

12. 52.110(e)(2) The Planning Commission shall determine the required number of parking spaces after:

- A. Considering the recommendations of the parking study and any recommendations from City staff; and
- B. Making the findings required under Subsections (c) or (d) of this Section, as the case may be

12.52.300 Parking calculations per use:

Office, general	1 space per 200 square feet of gross floor area, 8 spaces minimum
Indoor recreation	1 space per 300 square feet of gross floor area

Current Parking Calculation according to CZC 12.55.300

Company	Use	Square Footage	Calculation
Layton & Associates	Office, general	1,857	9.3
Gym	Recreation, indoor	2,925	9.75
	Sum		19.05
Future Use Requirements			24
Parking currently provided			18
Proposed parking to be provided			18

The applicant has an approximate two stall deficit according to our zoning code calculations. While this deficit would cover the current businesses' requirements the applicant intends to grow both businesses. The future intended needs for the businesses are 24 total stalls to cover the increase in employees and clients. This results in a deficit of six off-street parking stalls.

Applicant's response:

The applicant argues that the operating hours of the two businesses will not overlap. The nature of the businesses will not interfere with one another and separately do not need to parking required by CZC 12.52.300 for the combined use. The applicant asks that the parking modification be granted.

SUMMARY

If the Planning Commission desires a Parking Study for this, it can be requested. The key factors in approving a modification for this site are the alternating hours of each use.

The expected future parking requirement for the CPA firm is nine stalls. The expected parking requirement for the gym is 15 stalls. The current 18 stalls will cover both uses separately. Due to the separate hours of each use, staff finds the use adequate for the applicant's intended use.

STAFF RECOMMENDED MOTION

I hereby make a motion for the Planning Commission to APPROVE the Parking Modification for the building located 125 South Main Street based on the following conditions:

1. This modification is only for 125 South Main Street and is not transferable to another location or another user at this location.
2. The applicant shall paint and stripe according to our Parking dimension and design requirements as stated in CZC 12.52 in order to reach 18 stalls total, as shown in the provided site plan.
 - a. This shall be done before the issuance of the Certificates of Occupancy OR
 - b. The applicant shall bond for the remaining striping on the lot.
3. Future tenants and uses may be altered with the approval of the Zoning Administrator. The total parking calculation of uses with peak demand during the same time period (daytime/ evening) shall not exceed 18 stalls.
 - a. If there is any changes to tenants that exceed this calculation, OR if there are any complaints brought to the awareness of City Staff or the Commission, the Parking Modification shall be brought back to the Planning Commission for further review.

Reasons for action:

1. A parking modification is permitted with approval from the Planning Commission based on a parking study [12.52.110(e)(2)]

2. According to 12.52.110 (c), the Commission may modify the required number of parking stalls for a commercial site.
3. The Planning Commission finds there is adequate parking for this site based on CZC 12.55.110(c) 2, 3, and 4.

Mackenzie Wood

From: Rachelle Dillingham <rachelle@laytoncpas.com>
Sent: Wednesday, November 20, 2019 6:50 PM
To: Mackenzie Wood
Cc: Matthew Layton
Subject: Parking Modification

Mackenzie,

As you are aware the engineering firm dropped off documentation regarding the property changes to the old fire station.

Included in those documents are construction design and drainage notes required by UDOT for the change of use permit to build up the curb along main street. We included those documents for your review and because UDOT requires a letter from Centerville City stating they are aware of the modification that will be made on the UDOT road. Can you please provide the letter requested by UDOT or give further instructions on how to obtain this requirement?

In accordance with 12.52.110 Parking Modification Permit, we are requesting a shared use parking modification to avoid creating unnecessary parking areas that will be essentially unused. The request is based on Shared Use Parking stalls at the location.

The use of the office space and fitness studio is unlikely to produce a substantial demand for parking simultaneously. Based on the functioning hours of each business as detailed below, a parking reduction is being requested.

The CPA office hours are 9:00 am to 5:00 pm and is currently only staffed by 3 people.

The fitness studio we are looking to bring to Main street is ran as what the industry deems a "boutique/specialty" gym. The Classes are no more than 8 clients per hour as we run off an appointment/schedule basis. Many of our members are also married and often come together in same vehicle. The classes last 45 minutes and begin each day at 5:30 am, 6:30 am, 7:30 am, 5:30 pm, 6:30 pm and 7:30 pm, which is outside of the CPA office hours. There will be no overlap between classes (classes start every 60 minute and last only 45 minutes).

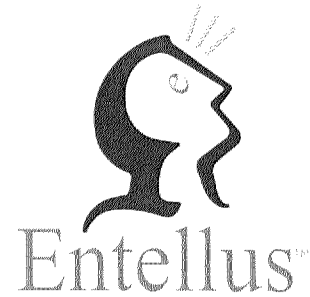
The total combined parking spaces needed between both businesses is 12 if all used at the same time. Currently there 16 parking stalls on the property.

Required parking spaces reserved for persons with disabilities shall not be reduced. The parking lot will be continuously available unless an alternative legal parking lot is provided. All spaces are available without charge. Ongoing shared use between the businesses is assured by agreement and the zoning administrator will be notified 30 days prior to the expiration or termination of agreement.

Please let me know if you need any additional information.

Thanks
Rachelle





Matt Layton
Layton & Assoc.
125 S Main St
Centerville, UT 84014

1470 S 600 West
Woods Cross, UT 84010
Phone 801.298.2236
www.Entellus.com

November 20, 2019

RE: Layton & Associates – Required Parking (Old Fire Station)

In order to comply with the off-street parking portion of the Centerville City Development Code, we have analyzed the proposed parking for the repurposed fire station at 125 S Main St. Centerville, Utah.

The existing living space will be turned into professional offices and the garage area will be used for a private gym with some potential morning and evening classes, with the following areas:

Office area:	1,857 sq. ft.
Gym/Garage area:	2,925 sq. ft.
Total Building:	4,782 sq. ft.

The use of the building is listed in the Centerville Development Code 12.52.300 Off-street Parking Schedule as follows:

Office: 9.2 stalls
1 space per 200 feet of gross floor area.

Recreational: 11.7 stalls
1 space per 250 feet of gross floor area.

Under the minimum standard, Layton & Assoc. with the gym would require a minimum of 21 parking stalls to accommodate for employee and customer parking. However, the unique hours the private gym, differs from other public gyms and requires less parking during the typical business day. Focusing on morning and evening classes allows the use of the additional parking for the gym, when the office is not open and so they are able to share parking stalls.

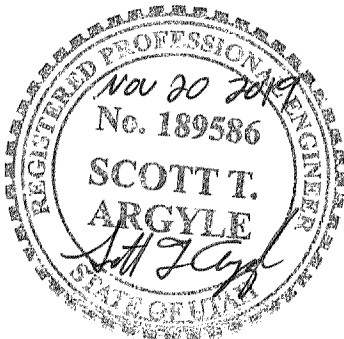
The current staff for Layton and Assoc. is two people and given the nature of their accounting business, it doesn't generate large volume of traffic counts per day. The gym may have an additional two people teaching.

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EXISTING PARKING ANALYSIS	
NUMBER OF EMPLOYEES	4
NUMBER OF OFFICE CLIENTS	3
NUMBER OF GYM CLIENTS	10
REQUIRED NUMBER OF STALLS	17

FUTURE PARKING ANALYSIS	
NUMBER OF EMPLOYEES	6
NUMBER OF OFFICE CLIENTS	6
NUMBER OF GYM CLIENTS	12
REQUIRED NUMBER OF STALLS	24

In conclusion, with a parking analysis of the Layton & Assoc business practices for their existing and expanded business, we conclude that 17 parking stalls are the minimum required to properly service their current needs. Given the fact that the model is for the gym classes to be before or after the typical work day hours they could expand the business and use the parking as flex space for both cliental. This future analysis would break down as the office needing 12 stalls and the gym needing up to 16 stalls at different times of the day.



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OLD CENTERVILLE FIRE STATION

125 SOUTH MAIN STREET

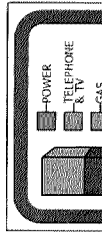
LOCATED IN THE SE 1/4 OF SECTION 7, T.2N., R.1E., S.L.B.&M.
CENTERVILLE CITY, DAVIS COUNTY, UTAH

VICINITY MAP



GENERAL NOTES

- 1) ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S STANDARDS & SPECIFICATIONS.
- 2) ALL UTILITY WORK SHALL CONFORM TO THE UTILITY OWNER'S STANDARDS & SPECIFICATIONS.
- 3) THESE PLANS DO NOT INCLUDE DESIGN OF DRY UTILITIES. THESE PLANS MAY CALL FOR RELOCATION, AND/OR REMOVAL AND/OR CONSTRUCTION OF DRY UTILITIES, BUT ARE NOT OFFICIAL DRAWINGS FOR SUCH. DESIGN AND COORDINATION OF DRY UTILITIES IS BY OTHERS.



GENERAL NOTES

1. ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY. CONTACT THE PUBLIC WORKS OFFICE BEFORE BEGINNING.
2. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND AVAILABILITY OF EXISTING UTILITIES. UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. SEE UTILITY NOTE 3.
3. ALL DIMENSIONS ARE IN FOOT UNITS AND ARE TO THE TOP BACK OF CURB UNLESS SHOWN OR NOTED OTHERWISE.
4. PROVIDE HANDICAP RAMPS AT ENDS OF WALKWAYS, END 0.1' ABOVE FLOWLINE OF CURB.
5. CURB AND GUTTER SHALL BE AS PER AWWA STD DWG NO 205 TYPE A.
6. UTILITY INFORMATION INDICATED ON DRAWING IS BASED UPON VISUAL OBSERVATION OR INFORMATION FURNISHED BY MUNICIPAL AUTHORITIES WHICH MAY NOT BE VALID. LATERAL LOCATIONS AND ELEVATIONS ARE ASSURED. SEE UTILITY NOTE 3.
7. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A QUALIFIED SOILS ENGINEER WHO SHALL VERIFY THAT ALL FILL HAS BEEN PLACED IN ACCORDANCE WITH PROVISIONS IN CURRENT INTERNATIONAL BUILDING CODE.
8. CONSTRUCTION TEST REPORTS SHALL BE MADE AVAILABLE TO THE ENGINEER WITHIN 24 HOURS OF A REQUEST. FINAL REPORTS AS SPECIFIED IN CURRENT INTERNATIONAL BUILDING CODE SHALL BE SUBMITTED TO THE ENGINEER WITHIN TEN DAYS AFTER COMPLETION OF GRADING.
9. ALL STORM DRAIN PIPE SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND THE LOCAL GOVERNING MUNICIPALITY'S STANDARDS AND SPECIFICATIONS.
10. STORM DRAIN PIPE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE RIGHT-OF-WAY OWNER'S SPECIFICATIONS.
PRIVATE STORM DRAIN PIPE OPTIONS SHALL CONSIST IF THE FOLLOWING MATERIALS.
 1. PVC PIPE, ASTM D3034, SDR 35, BELL & SPIGOT TYPE.
 2. RCP PIPE, CLASS 3, BELL & SPIGOT TYPE.
 3. HIGH DENSITY CORRUGATED POLYETHYLENE SMOOTH INTERIOR PIPE, ASTM D3535 WITH WATERLOGIC JOINTS.

11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK CONDITIONS AT THE SITE BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
12. TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION UNLESS SPECIFICALLY DETAILED. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION WILL BE AS FOR SIMILAR WORK. DO NOT SCALE DRAWINGS.
13. ANY DISCREPANCY OR CONFLICT BETWEEN THE VARIOUS ELEVATIONS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK INVOLVED.
14. PIPE BEDDING SHALL BE 3/8" MAXIMUM AGGREGATE, USE 3/4" MAXIMUM SIZE ROAD BASE FOR BACKFILL MATERIAL. COMPACT TO 95% STANDARD PROCTOR DENSITY. MAXIMUM LIFT 8 INCHES.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC AND OSHA STANDARDS.
16. ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2007 EDITION WITH ALL PERTINENT SUPPLEMENTS AND AMENDMENTS AND THE MANUAL OF STANDARD PLANS 2007 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE THE REQUIREMENTS.
17. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THE WORK TO BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S RESPONSE SHALL BE IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORITY FROM THE OWNER AND/OR ENGINEER.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
19. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.
20. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDEFINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

SEQUENCE OF CONSTRUCTION

1. CONSTRUCTION EXIT IS TO BE CONSTRUCTED AT TIME OF ENTRY TO SITE.
2. CLEAR AND GRUB AREAS FOR SEDIMENT MEASURES.
3. INSTALL SILT FENCES.

UTILITY NOTES

1. ALL SERVICE LATERALS SHALL BE EXTENDED 2 FEET PAST THE 10 FOOT P.U.E.
2. ALL CONSTRUCTION SHALL COMPLY WITH LOCAL GOVERNING MUNICIPALITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS
3. LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO FIELD VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.
4. CONTRACTOR IS RESPONSIBLE TO EXPOSE ALL UTILITY SERVICES STUBBED INTO PROJECT PROPERTY AND GIVE HSA EXTENSUS, INC. 48 HOURS PRIOR NOTICE SO HSA EXTENSUS CAN VERIFY DEPTHS AND INVERT ELEVATIONS TO DETERMINE IF CONFLICTS EXIST. ALSO ANY EXISTING UTILITIES THAT RUN THROUGH THE PROJECT PROPERTY SHALL BE EXPOSED AND LOCATED BOTH HORIZONTAL AND VERTICAL. CONTRACTOR PROCEEDS AT OWN RISK IF HSA EXTENSUS IS NOT NOTIFIED TO FIELD VERIFY THE ABOVE MENTIONED CONDITIONS.
5. CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS WHERE APPLICABLE.
6. NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.
8. ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
9. ALL SEWER LINES AND LATERALS ARE TO BE SDR 35 PVC PIPE.
10. SEWER LATERALS WILL BE INSTALLED AT A UNIFORM SLOPE OF NOT LESS THAN 2% GRADE AND THEY SHALL HAVE A MINIMUM OF 4 FEET OF COVER, UNLESS OTHERWISE NOTED.
11. ALL NEW CULINARY AND IRRIGATION WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
12. WATER LINES TO BE PVC C-909. WATER LINES SHALL BE A MINIMUM OF 10" HORIZONTAL FROM SEWER LINES. MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR 10' HORIZONTAL SEPARATION FROM SEWER LINES.)
13. ALL WATER LINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED.
14. WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE, CORP, STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE.
15. ALL WATER LINES SHALL BE A MINIMUM 48" BELOW FINISH GROUND OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS.
16. CONTRACTOR TO NOTIFY PUBLIC UTILITIES FOR CHLORINE TEST PRIOR TO FLUSHING LINES, CHLORINE LEFT IN PIPE 24 HOURS. MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION, AND FLUSHING SHALL BE COORDINATED WITH LOCAL GOVERNING MUNICIPALITY. ALL TESTS TO BE IN ACCORDANCE WITH AWWA STANDARDS.
17. BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4" INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET CITY STANDARDS.
18. ALL NEW STORM DRAIN/WATER DRAIN CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
19. ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR EQUAL, UNLESS OTHERWISE NOTED.
20. CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO DOMINION ENERGY GAS FOR DESIGN OF GAS SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY GAS FOR CONTRACTOR LIMITS OF WORK VERSUS DOMINION ENERGY GAS LIMITS.
21. ALL GAS LINE TAPS TO BE HOPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.
22. ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO-FUSION TECHNOLOGY.
23. ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.
24. ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.
25. CONTRACTOR IS TO SUBMIT SITE PLAN/SUBDIVISION PLAT TO COMCAST FOR DESIGN OF CABLE TV SERVICE TO BUILDINGS/LOTS. CONTRACTOR TO COORDINATE WITH COMCAST FOR CONTRACTOR LIMITS OF WORK VERSUS COMCAST LIMITS.

GRADING NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REFILLING IT WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER PROCTOR MAXIMUM DENSITY SHALL BE 95% MIN. OF MAXIMUM EXCEED 2% ABOVE. FOR 3% BELOW OPTIMUM, CONTRACTOR SHALL SUBMIT ENGINEER VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
2. THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THE PROJECT. SPECIFIC DETAILS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. EROSION CONTROL SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
3. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS OF VERIFYING THE LOCATION OF UTILITIES OR FAILURE TO CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.
4. IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
6. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OF CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS, THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR THE PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER FORMS WITHOUT THE APPROVAL OF THE ENGINEER.

EROSION CONTROL

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY.
2. ALL SEDIMENT CONTROL MEASURES TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE.
3. DAILY INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
4. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS WILL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
5. ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAINAGE SYSTEM THROUGH THE USE OF SANDBAGS, STRAW BALES, SILT FENCES, GRAVEL, BOARDS, AND OTHER APPLICABLE METHODS.
6. ALL DISTURBED AREAS OUTSIDE OF ROADWAYS, PARKING LOTS, SIDEWALKS AND/OR BUILDING FOOTPRINTS SHALL BE SEEDED, SOODED AND/OR MULCHED.
7. IF SITE IS READY TO RECEIVE FINAL COVER DURING THE NON-PLANTING SEASON, THEN IT SHALL BE PROTECTED BY MULCHING. THE MULCH WILL REMAIN UNTIL THE NEXT PLANTING SEASON AS DEFINED BY THE LOCAL GOVERNING MUNICIPALITY.
8. RE-VEGETATE ALL DEBURRED AREAS AS PER THE STANDARDS AND REGULATIONS OF THE LOCAL GOVERNING MUNICIPALITY.
9. THE CONTRACTOR AGREES THAT:
 - A. THEY SHALL BE RESPONSIBLE TO CLEAR THE JOB SITE AT THE END OF EACH PHASE OF WORK.
 - B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SOILS, AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.

LEG



SECTION CORNER

NONUMENT

EXISTING SPOT ELEVATION

PROPOSED SPOT ELEVATION

DOWNWARD GRADE

(+254)

EXISTING INDEX CONTOUR

EXISTING MINOR CONTOUR

PROPOSED MINOR CONTOUR

LOT OR BOUNDARY LINE

PUBLIC UTILITY EASEMENT

BUILDABLE AREA SETBACK

CENTER LINE OF ROAD

EXISTING FENCE

PROPOSED FENCE

EXISTING BUILDING

PROPOSED BUILDING

EXISTING ASPHALT

PROPOSED ASPHALT

EXISTING CONCRETE

PROPOSED CONCRETE

EXISTING CURB & GUTTER

PROPOSED CURB & GUTTER

ADA PARKING

STREET LIGHT

LIGHT LIGHT POLE

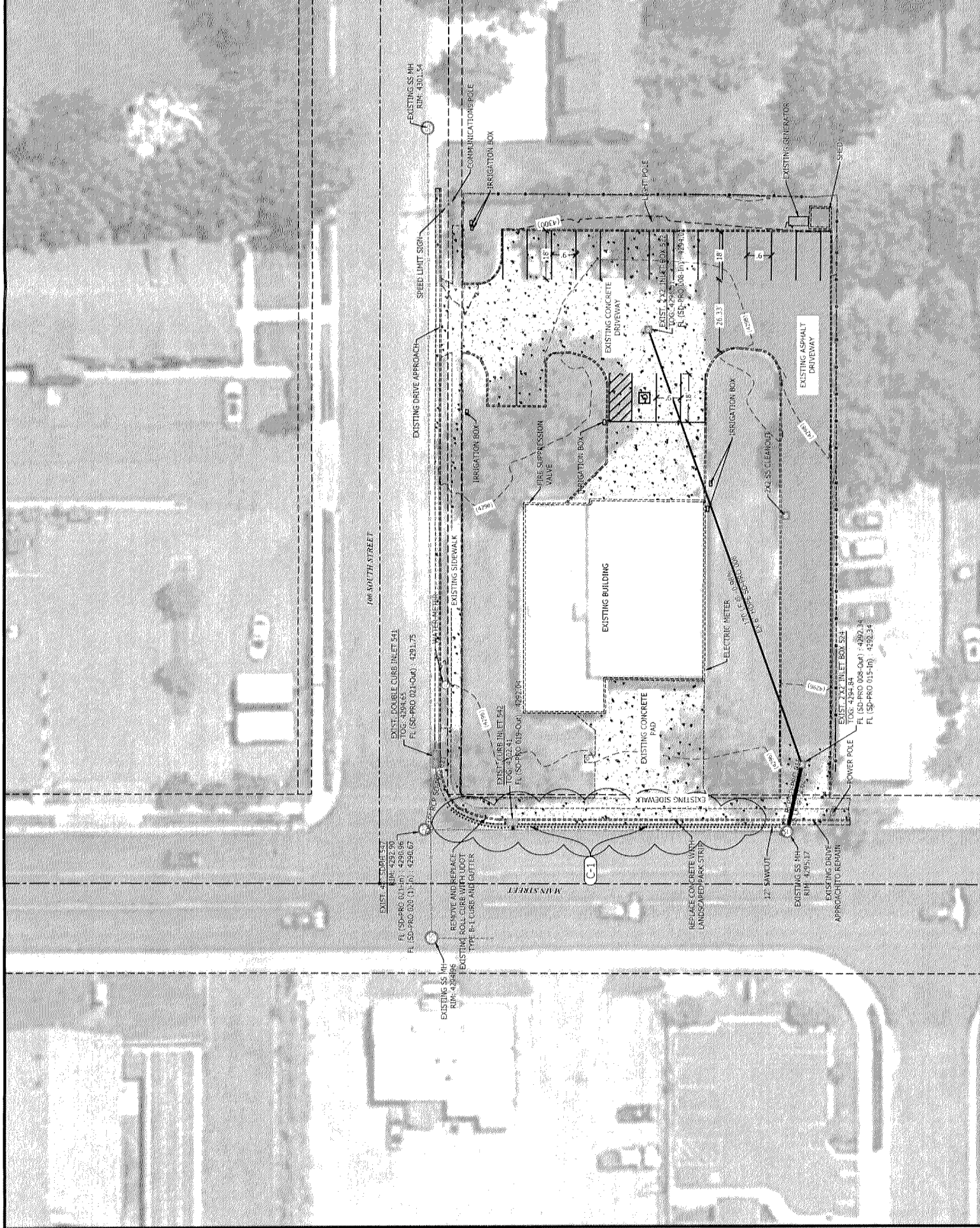
POWER POLE

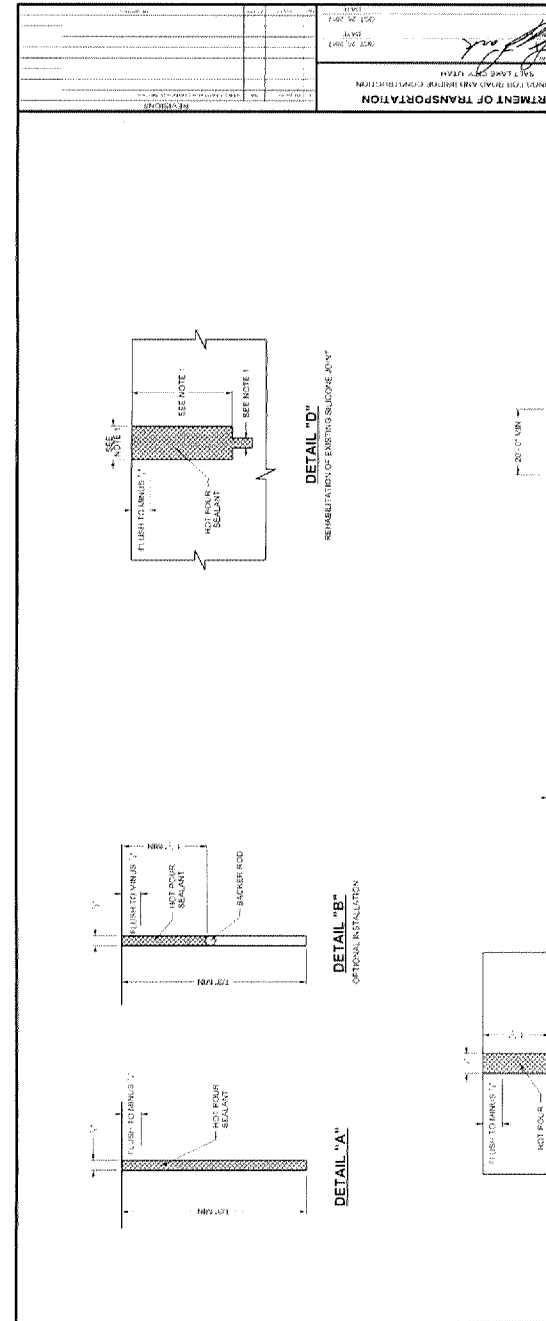
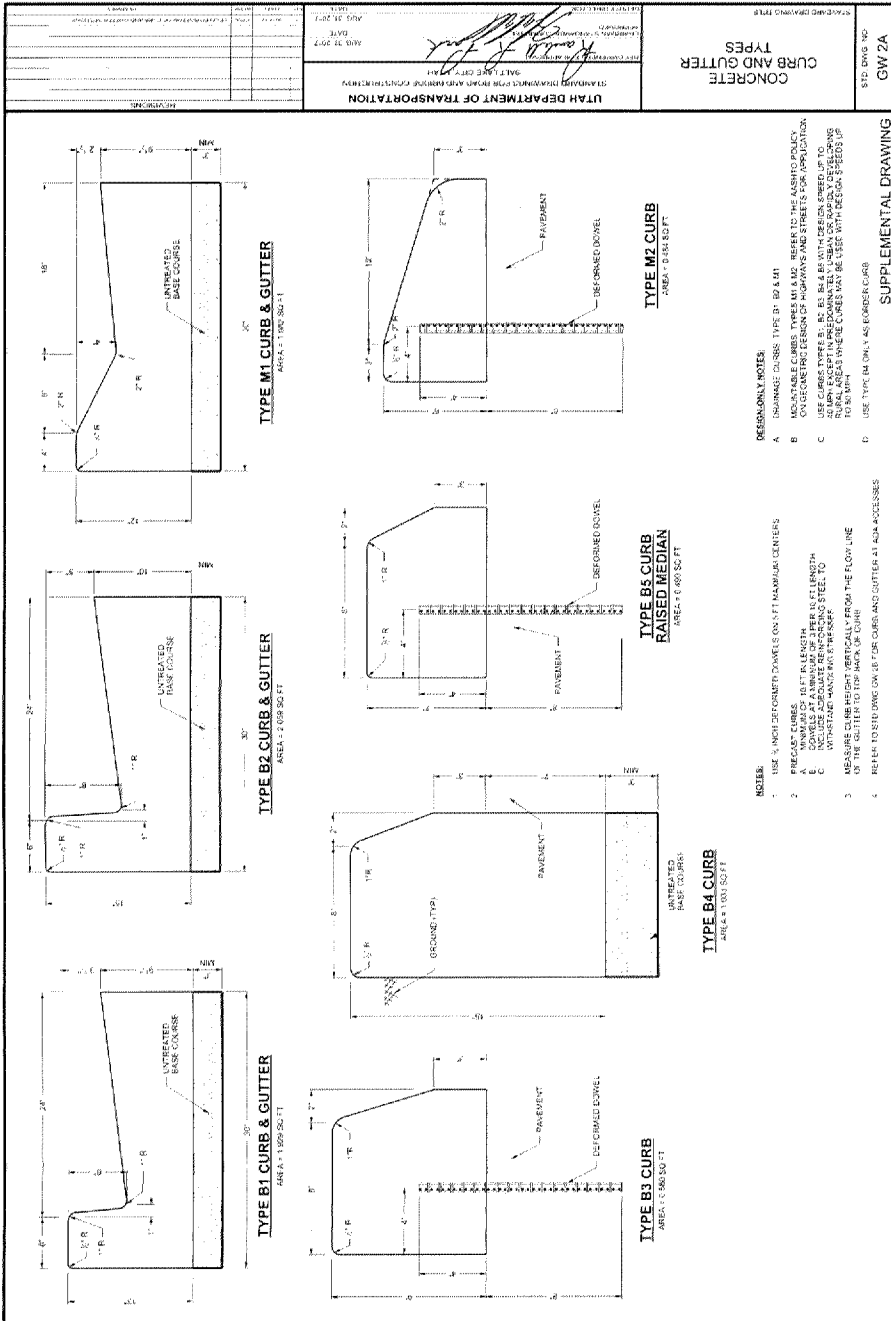
TELEPHONE POLE

UTILITY POLE

STREET SIGN

ROCK WALL





CENTERVILLE

Staff Backup Report 12/11/2019

Item No. 2.

Short Title: Public Hearing - Administrative Decision - Conceptual Site Plan for Legacy Lands Lot 1

Initiated By:

Scheduled Time:

SUBJECT

RECOMMENDATION

BACKGROUND

ATTACHMENTS:

Description

- ▢ 12-11-2019 PC Staff Report - Legacy Lands Lot 1 Conceptual Site Plan Review
- ▢ Legacy Land Lot 1 Design Pattern Book Submittal
- ▢ Legacy Lands Lot 1 Conceptual Site and Landscaping Plan
- ▢ Legacy Lands Lot 1 Building Elevations Submittal

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 2**

APPLICANT: **JEFF COOK**
 1235 NORTH 1300 WEST
 CENTERVILLE, UTAH 84014
 (jeffcookbuilders@gmail.com)

OWNER: **LEGACY LANDS INVESTMENT**
 1235 NORTH 1300 WEST
 CENTERVILLE, UTAH 84014

PROPERTY: **LOT 1 – LEGACY LANDS SUBDIVISION**

ACREAGE: **0.78 ACRES**

ZONING: **SHORELANDS COMMERCE PARK (SCP) DISTRICT**

APPLICATION: **CONCEPTUAL SITE PLAN ACCEPTANCE**

BACKGROUND

The applicant/owners have recently met with City’s Development Review Committee (*DRC*) to discuss the opportunity to develop Lot 1 of the Legacy Lands Subdivision. The proposal is to construct one (1) multi-tenant or flex-space style building (*two-story totaling 18,762 sq. ft.*) and the associated parking and landscaping elements.

The SCP District regulations envision a context sensitive design in the development pattern reflective of the Legacy Parkway Design and the shoreland environment of the Great Salt Lake. This conceptual review will summarize the applicable layout and design with regards to the development plan’s potential compliance with the required SCP Zone standards.

CONCEPTUAL SITE PLAN REVIEW & STAFF COMMENT

The proposal development application consists of a conceptual site plan acceptance (*see CZC 12.21.110, Site Plan Review*) for a site within the Shorelands Commerce Park (SCP) District (*see CZC 12.47, SCP Regulations & CZC 12.68, SCP Design Standards*).

- a. *SCP Zone Design Pattern book (12.47.100)* – The SCP District requires the submittal of a “Design Pattern Book” with any conceptual plan acceptance. Upon acceptance of the

Design Pattern Book, the final site plan submittal must comply with the design elements of the book. The applicant's Design Pattern Book submittal has been attached with this report. However, below is a brief overview of the applicant's submittal:

- i. *Tilt-Up Construction* – Describes the tilt-up selected tilt-up product. However, it lacks the specific architectural design elements specific for the site.
- ii. *Wall Colors* – Primary exterior colors will be varied use of gray shades, which is allowed by the Shorelands color primary palette, but lacks the use of allowable secondary colors and shades to address the expected “bold gestures” in the building design.
- iii. *Wall Texture* – The meaning and purpose of the provided “cut-sheet” is a bit ambiguous regarding the specific design of the proposed building.
- iv. *Landscape Design* – The proposed plant types are listed. However, the selected landscaping design does NOT comply with the shoreland design expectations of the SCP Zone – see landscaping comments later in this report.

Staff Comments – The submitted design pattern book is incomplete and is missing the following requirements:

- ✓ *How all six shoreland design principles found in CZC 12.68.040 are to be integrated into the design of the development.*
- ✓ *Written descriptions and graphic illustrations that clearly describe proposed open spaces, landscaping ideas, pedestrian pathways, and related entryway features and/or amenities. NOTE: the proposed landscaping design does NOT appear to be consistent with the design standards described in CZC 12.68.050.*
- ✓ *Written descriptions and graphic illustrations outlining existing or proposed on-site and off-site utilities services, storm drainage facilities, and subdrain systems including a storm drainage plan designating how storm water drainage for an event with a 10-year return interval will be handled*

- b. *Regulations of General Applicability (12-47-140)* – The following items are applicable for this project:

- i. *Existing Conditions:*

- 1. **Streams & Floodplains** – the project is located in the 100 floodplains (Zone X) requiring that the floor area of each building be located at least one-foot above flood level.
- 2. **Wetlands** – there are no known wetlands present on this development site.

Staff Comments – It appears that the conceptual site plan layout and design can accommodate mitigating these requirements.

- ii. *Landscaping & Screening* – The SCP regulations will alter some of these provisions of this section, particularly when it comes to the use of trees. However, the items applicable for this section are as follows:

- 1. **Irrigation & Maintenance** – The final site plan will need to address how the SCP required landscaping will be properly irrigated and maintained.
- 2. **Foundation Landscaping** – The conceptual site plan depicts areas for

foundation plantings along all facades facing a public street.

3. **On-site Requirement** – The conceptual plan indicates that landscaping consists of 13.16%, which does not meet the SCP expectation of 30% open space.
4. **Parking Lot Requirement** – Although landscaping is depicted, the conceptual site plan does NOT calculate the amount of internal parking lot landscaping, which is a 5% minimum.
5. **Screening Requirements** – This requirement has not been addressed on the conceptual plan submittal. However, all trash receptacles, outdoor storage areas, service/loading areas, and roof mounted utility equipment must be screened from public view.

Staff Comments – It appears the conceptual site plan is incomplete regarding these design elements required by the SCP Zone.

- iii. Off-Street Parking – The conceptual plan specifies the proposed uses for the site are:

1. **Office & Warehouse** – providing 44 parking stalls. However, the Zoning Ordinance requires a minimum of 54 stalls for the project. It appears that an additional 10 parking stalls are needed.

Staff Comments – The parking schedule requires five (5) parking stalls per 1,000 sq. ft. of office space and one (1) parking stall per 1,000 square feet of warehouse space.

- c. Development Standards (CZC Table 12.47.1) – From staff's review, the site plan appears to comply with the setbacks listed. However, in the SCP Zone the maximum impervious coverage of a site is 70%. According to the submitted plan, the impervious coverage is 86%, which exceeds the maximum amount allowed.

- d. SCP Design Standards (12-68-050) – The conceptual site plan depicts office/warehouse uses and must comply with the following design standards:

✓ Industrial Building Architecture (8 specific essentials):

1. The primary focus for this site will be oriented to 1300 West and not the Legacy Parkway or Preserve. All loading, service, and storage areas appear to be located behind the primary building.
2. The textural use of tilt-up concrete with an imprinted wood appearing elements is compatible with the site's environment.
3. The front façade is minimally articulated and the other facades lack the reduced articulation (*a 50% reduction can be approved*).
4. The concept elevations depict use of drop canopies for second-story appearing areas, which is appropriate.
5. The UDOT sheds, located to the south, and the Pastures Development, located to the east are the only proximal developments at this time. Although the design is different, the proposed design for this development could be compatible.

6. The proposed building elevations depict windows, canopies, and entry elements and are compatible with this standard. However, the 40% percentage fenestration and the second level needs 30% fenestration amounts (*window to wall ratio*) calculation have not been provided.
 7. The use of concrete tilt-up panels is not a listed building material. However, the language does state “other similar appearing materials.” Thus, staff believes use of “stamped” designs imprinted on the wall faces would be a “similar appearance.” However, the submitted plans are somewhat unclear. Additionally, although it appears compliant from review of the building elevations, the first level needs a 40% fenestration amount (windows & doors) and the second level needs 30% fenestration amount. Furthermore, the front façade also lacks the expected “bold gestures” anticipated by the design standards.
 8. The design plan indicates the colors to match the SCP color palette, which does depict the allowance of “gray” hues and tones.
- ✓ Grading & Drainage (4 specific essentials):
1. The site may require some additional fill to meet the floodplain elevation regulations. This will need to be verified at Final Site Plan submittal by the City Engineer or Drainage Utility Manager.
 2. The conceptual plan appears to comply with minimizing the use of retaining and terracing.
 3. The conceptual site plan lacks using natural drainage patterns using swales and basins as part of the stormwater management system – see Guidelines Section later in the report.
 4. A temporary erosion control plan has been submitted with the conceptual review by the City Engineer and Drainage Utility Manager. To date, it has not been reviewed and commented by either entity.
- ✓ Landscaping (10 specific essentials):
- Staff Comments:** From staff’s review, the landscaping concepts presented are NOT consistent with the Shorelands Commerce Park design expectations. Due to the lack of secondary water service, it is expected that a landscape plan for the SCP Zone to be designed using greater emphasis for drought tolerant species, the greater use of native and local climate plants, minimal use of trees, and other potential design fundamentals that are consistent with the Shorelands Environment (*upland style*) theme.
- ✓ Off-Street Parking (8 essential elements):
1. A basic segmented design is proposed. However, as indicated earlier, the parking falls short of the minimum require stalls.
 2. The visual buffering of the parking area with the street frontages would need to be redesigned to comply with the landscape design expectations.
 3. The equaling of pedestrian circulation with the parking areas has NOT been addressed internally or externally. Staff would like to see how that system could be internally highlighted so that there is encouraged access to Legacy Parkway trail system.

4. The coloring and/or texturing for the parking areas has NOT been addressed.
5. The parking area layout and segments lack the required entry features that are to be provided.
6. Accesses have been minimized, as desired through the use of the shared private roadway system for the entire development.
7. The traffic pattern design appears appropriate for the site.
8. See Item #6.

✓ Fences and Walls (5 elements):

The use of fencing appears to be limited, that the site is located adjacent to the UDOT facility to the south. The fencing appears to be constructed by the State and additional fencing is listed in the legend but not shown on the plans. Further clarification is needed.

✓ Outdoor Lighting (7 elements):

The use of outdoor lighting has NOT been addressed with the submitted plans.

✓ Signing (6 elements):

The use of signing has NOT been addressed with the submitted plans.

- e. SCP Design Guidelines (12-68-060) – It is staff's belief that the following guidelines are applicable for this project:

Viewshed Protection

GUIDELINE 4 - All service areas and back lot uses, such as loading docks, dumpsters, storage areas, etc. should be located behind the main buildings or properly screened or visually buffered from view from the Legacy Parkway, a local street, or any pedestrian pathway, or, where deemed applicable the Legacy Preserve.

GUIDELINE 5 - Land uses needing areas for storage, equipment parking, or other such activities, should be screened and segmented into smaller spatial areas and may be connected together by access lanes, open space, and other buildings.

Open Space & Critical Lands

GUIDELINE 2 - All development should incorporate a discernable center or feature area. Such areas may be open spaces or neighborhood squares that contain landscaping, decorative features or art, or other such public gathering space amenities.

GUIDELINE 3 - Create or locate open space or feature areas at prominent sites such as entrances, central neighborhood areas, at important vista locations, at important street terminuses, adjacent to or oriented towards the Legacy Parkway, the Legacy Preserve, or towards natural areas such as wetlands.

Parking Lot Surfacing

GUIDELINE 2 - Shared driveway use should be incorporated into the site and building

layout, including consideration of development on adjacent sites. Driveways should be limited to 25 feet (residential) and 30 feet (commercial/industrial) in width. All driveway surfaces should be sloped or crowned in a manner to evenly drain (not erode) on to adjacent vegetative areas (not onto public streets) where the runoff will infiltrate or travel via sheet flow.

GUIDELINE 3 - The primary roadway and parking lot design style should be open-section or “country drainage” flanked by filter strips, swales, rain gardens (shallow landscaped depressions) instead of curb and gutter. If curbs are deemed necessary to stabilize the roadway or lot edges, the design should primarily consist of invisible curbs (same level as the surface). Other design strategies may include periodic curb cuts or perforated curbs that empty into swales or rain gardens.

GUIDELINE 4 - Clear zone and shoulder grading should be a maximum of five feet for low-speed roads and 10 feet for higher-speed roads. The use of filter strips and swales should direct water on to adjacent vegetative areas (not onto public streets) where the runoff will infiltrate or travel via sheet flow.

PLANNING STAFF RECOMMENDATION

The planning staff believes that the proposed conceptual plan for “Lot 1 of Legacy Lands” does NOT sufficiently address the layout and design expectations of the SCP Zone. There are a few substantial matters, such as providing adequate parking and redesigning the landscaping plan, that need to be addressed. Therefore, staff recommends TABLING the matter to allow the applicant to review the development matters addressed by staff in this report and make any necessary changes or additions.

Suggested Reasons for Action (findings):

- a. The applicant has NOT clearly shown how the property may be developed [12.21.110.d.2] with regards to the development standards and design guidelines of the SCP Zone.

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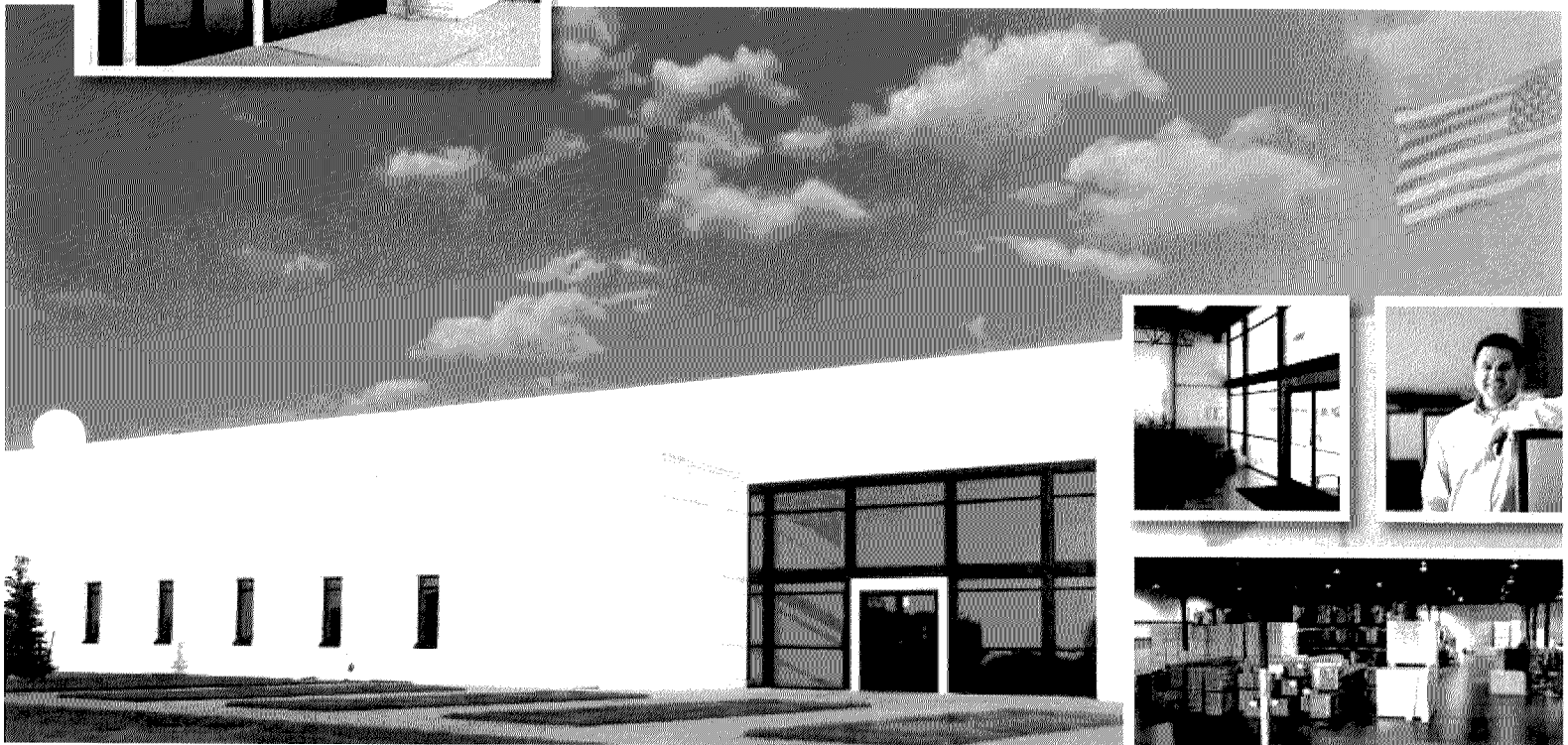
INNOVATIVE PRODUCTS

DEDICATED SERVICE

CONCRETE RESULTS

thermomass®

MISSION



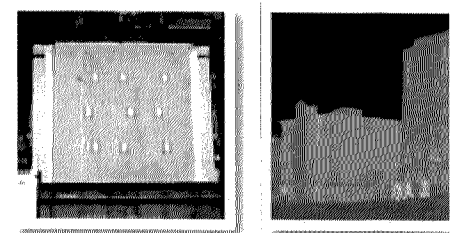
MISSION

At Thermomass, we are passionate about high-performance walls.

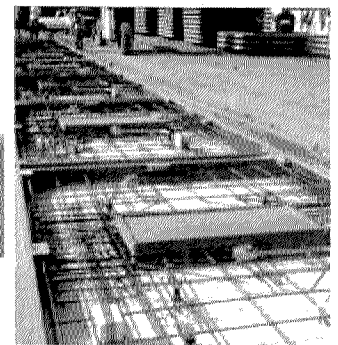
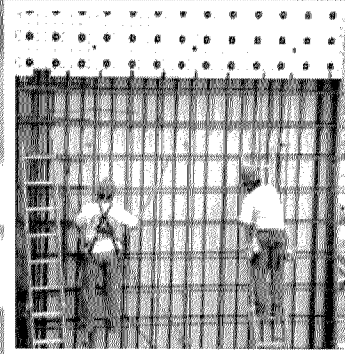
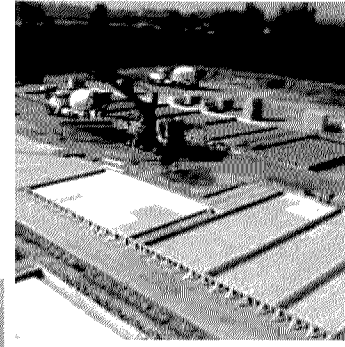
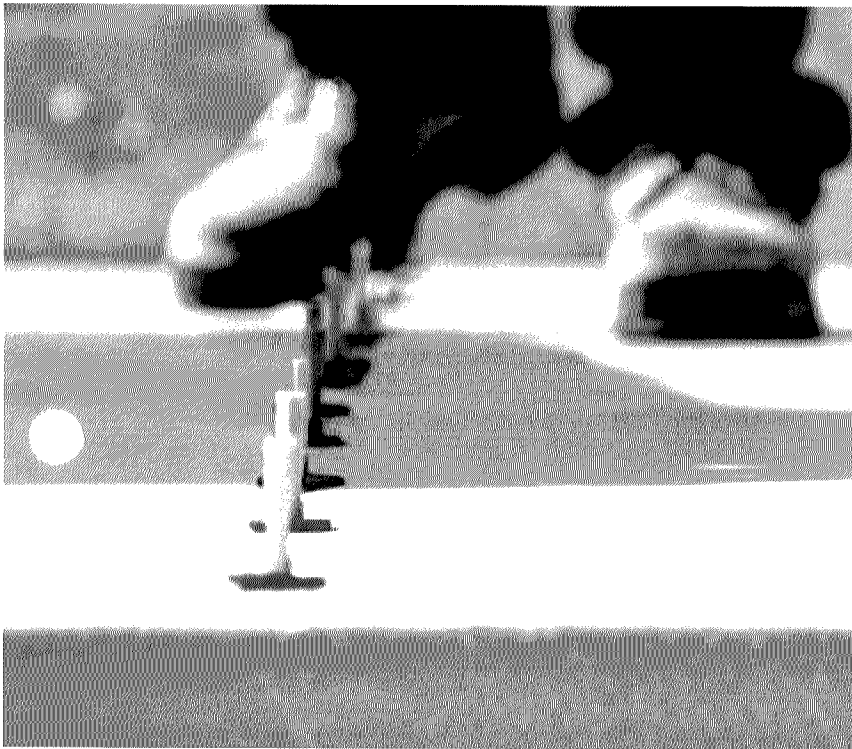
For over 30 years, we have helped customers from around the world design and build concrete sandwich walls that exceeded their expectations for durability, energy efficiency and environmental responsibility.

We take great pride that our insulation systems are the most stringently tested and widely trusted in the industry, but we know that our customers also depend on the unique, personal support that we offer through all phases of the project – from initial sketches to final walkthrough.

We learned long ago that the best projects are built on not one, but two cornerstones: superior products and trusted partnerships.



INTRODUCTION



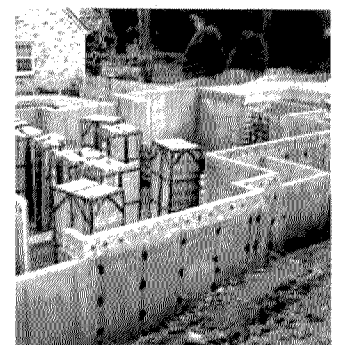
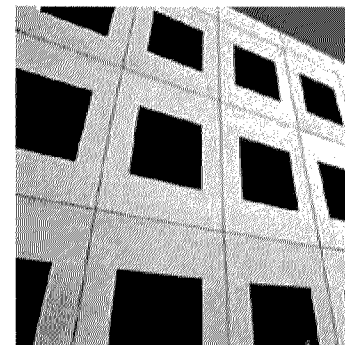
INTRODUCTION

Thermomass insulation systems have changed the world, or, at least the way the world builds with concrete. Since 1980, Thermomass has helped clients design and build durable, energy efficient, aesthetically versatile and environmentally responsible concrete sandwich walls.

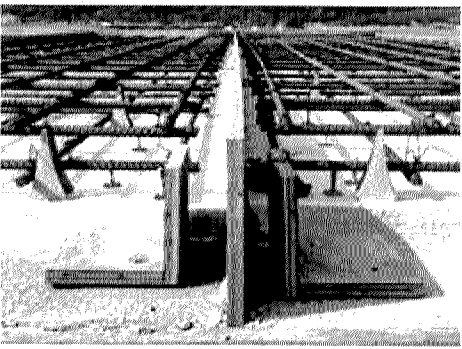
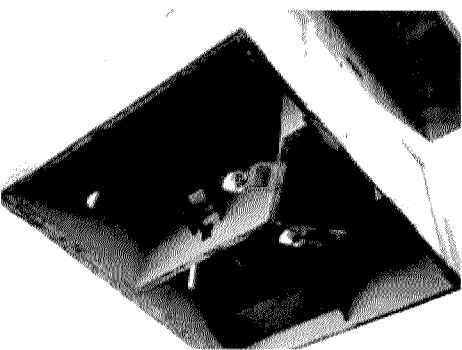
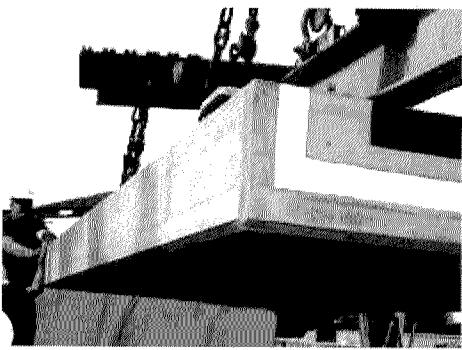
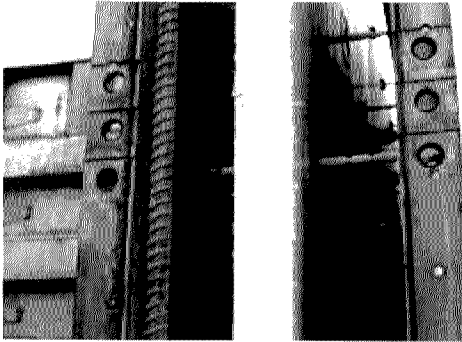
Founded in Cedar Rapids, Iowa, by Robert T. Long, Thermomass has grown to become the industry leader for concrete sandwich wall construction. Long's innovative thinking and vision led to the development of Thermomass' cornerstone technology – a family of patented continuous fiber-composite connectors used to structurally tie two layers of concrete together through rigid insulation. These non-conductive, chemically resistant connectors allow for the creation of an uninterrupted envelope of insulation throughout the exterior walls of a building.

Long's innovative technology revolutionized concrete construction, and we continue to develop new products to keep Thermomass the leading international supplier of concrete insulation systems.

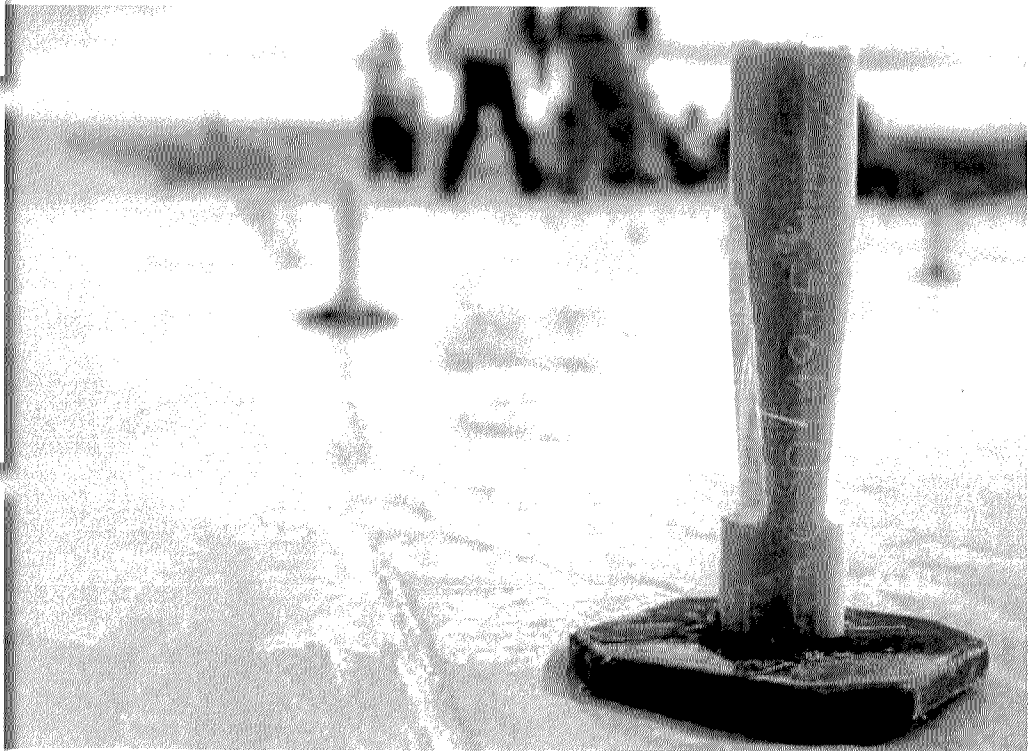
For more information, please visit www.thermomass.com/benefits.



thermomass®



TECHNOLOGY



TECHNOLOGY

Comprised of rigid insulation and fiber-composite connectors, Thermomass insulation systems are designed to provide the highest level of performance for sandwich wall panels. Closed cell rigid insulation used in our systems is manufactured to maintain maximum R-value and optimum moisture resistance through the elimination of thermal bridges.

The lynchpin of the assembly is the fiber-composite connector. All Thermomass connectors are comprised of individual E-glass strands and are bonded with a vinyl ester resin. This pairing creates a material that is exceptionally strong while possessing low thermal conductivity. The fiber-composite connectors have been engineered as the sole support for the two layers of concrete, so the structural integrity of these connectors is of the utmost importance.

As part of our stringent quality control process, Thermomass connectors are subject to rigorous third party evaluation. Additionally, traceable quality control processes are implemented at our manufacturing facility through laser etching of serial numbers and product testing.

Architects and engineers that specify a Thermomass insulation system know that they are incorporating the most proven material available for sandwich wall panel construction.

For more information on our technology, go to www.thermomass.com/products.

ENERGY EFFICIENCY

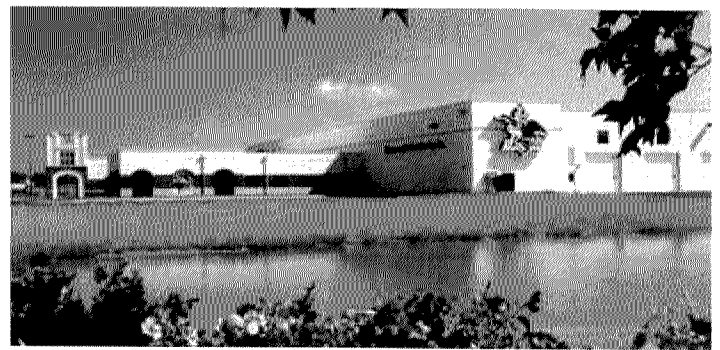


ENERGY EFFICIENCY

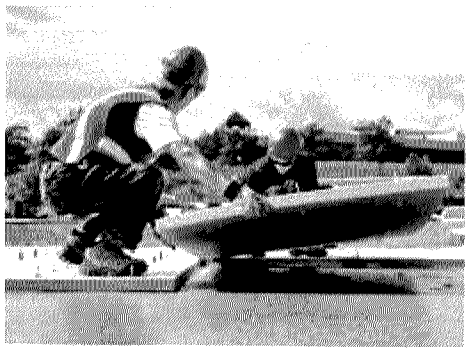
As our motto suggests, Thermomass is passionate about energy efficient walls. Whether our client is striving for a LEED rating, aiming for a zero-energy building, looking to exceed ASHRAE 90.1 or simply trying to reduce HVAC loads; there is a Thermomass insulation system designed and tested to help our partners meet their goals.

Buildings insulated with Thermomass systems are designed to maximize the thermal mass effect of concrete and minimize thermal bridges. These two tenets are key to meeting and exceeding the most stringent model energy codes and are crucial to creating a building envelope capable of delivering results in any climate. With R-values ranging from R-10 to R-50 for cast-in-place, tilt-up or precast applications; our clients can be assured of a solution for just about every situation.

From tried and trusted building science fundamentals to the expert advice provided by our LEED Green Associate employees, the Thermomass team truly does put *Energy Efficiency in Concrete Terms* on every project, and we look forward to showing you how your next concrete building can be more energy efficient while still costing less to build and operate.



thermomass®



SERVICE & SUPPORT



TECHNICAL SERVICE

With a staff boasting more than 200 years of combined experience, we have been a part of thousands of projects, each with distinct requests and challenges. As a result of these lessons, we are able to offer a unique blend of practical thinking and real world experience to our clients. Whether it is advice on the compatibility of our systems with your project goals, recommendations on details or a thermal analysis on a potential project, our technical department is there for our clients every step of the way.

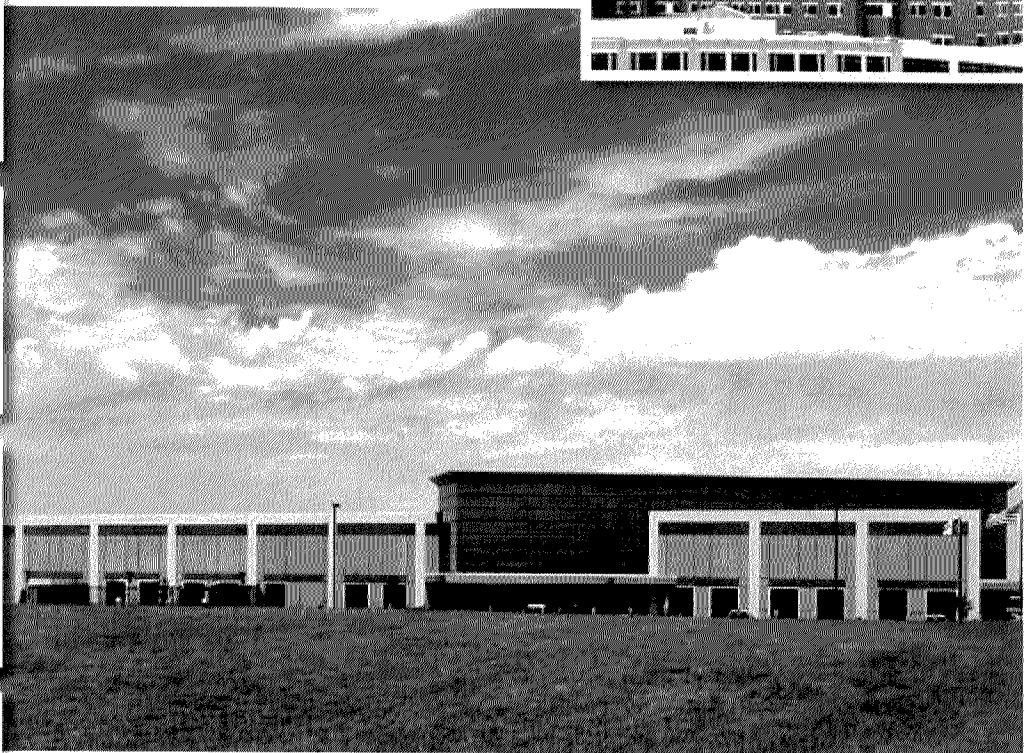
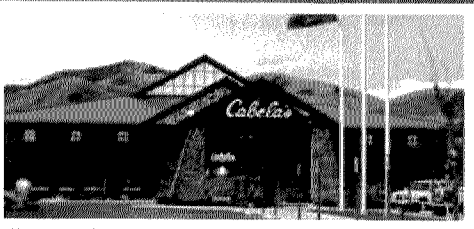
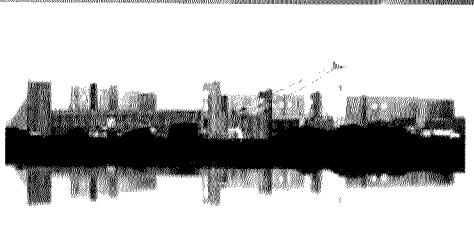
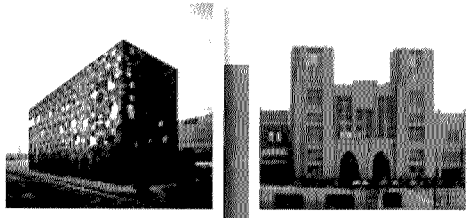
SALES SUPPORT

Thermomass has a corporate philosophy of continued improvement through industry participation. Our experts are entrenched in the market through involvement with continuing education programs for the design community, industry specific committees and code body participation. In addition to our team in Iowa, we have strategically placed individuals around the world to service local markets and projects. This level of industry expertise and involvement results in a partnership with our clients that allows us to tackle even the most challenging projects.

For a listing of our entire team, go to www.thermomass.com/team.

thermomass®

WORK



WORK

With systems available for cast-in-place walls, plant pre-cast wall panels, site-cast tilt-up wall panels, and modular precast construction, Thermomass has a solution for projects ranging from residential homes to high-rise structures.

Over the past 30 years, we have been fortunate to have been part of many award winning, high profile, game changing projects, and we look forward to being a part of your team.

For more information on our projects please visit
www.thermomass.com/projects

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Energy Efficiency in Concrete Terms™

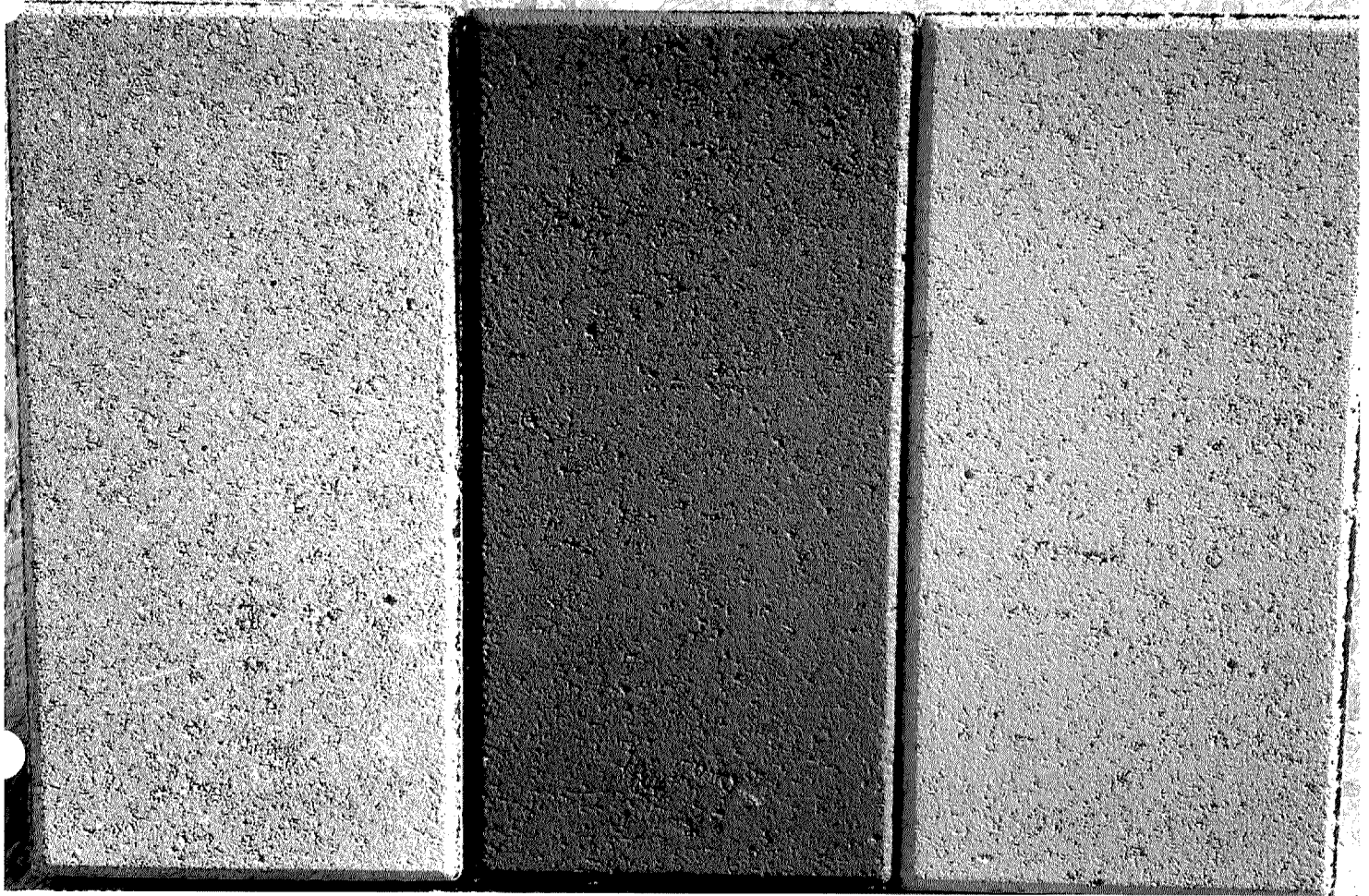
PO Box 950
1000 Technology Drive
Boone, Iowa 50036
USA

United States: (800) 232-1748

International: (515) 433-6075

Fax: (515) 433-6088

TILT UP WITH COLORS



NATURAL

SW 7068
GRIZZLE GRAY

SW 7669
SUMMIT GRAY

Store CCN: 703042 BOUNTIFUL, UT
Date Prepared: 11/19/2019 Control Number: 0219365-001



SHERWIN-WILLIAMS®

Job: COOK BUILDERS INC
Project Info: .
Schedule:

Color: SW 7669 SUMMIT GRAY
Product: SUPER PAINT E SATIN A89W00153



Store CCN: 708042 BOUNTIFUL, UT
Date Prepared: 11/19/2019 Control Number: 0219365-003



SHERWIN-WILLIAMS.

Job: COOK BUILDERS INC
Project Info: .
Schedule:

Color: SW 7068 GRIZZLE GRAY
Product: SUPER PAINT E SATIN A89W00153



Pattern# 6008

Barnwood

customrock
FORMLINER

General Information:

Thermofomed ABS and Styrene plastic formliners are an inexpensive alternative for providing architectural concrete. The Styrene single use liner is the least expensive liner option. The ABS plastic formliner properties allows for an up to ten reuse factor depending on the design and handling.

CONCRETE

1'

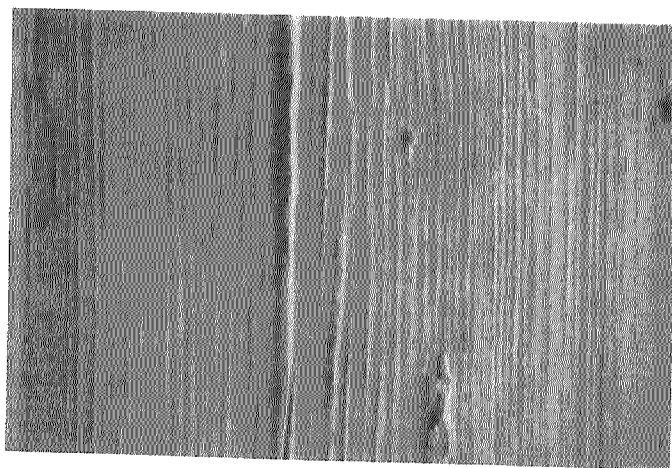
4

1"

2

10'

4'



Thermal Deformation:

- Do not expose to temperatures $>140^{\circ}\text{F}$ (60°C)

Care and Handling:

- Keep out of the sunlight and covered when not in use
- Keep away from steam, acids, and certain fuels
- For further instructions refer to the application guide

Thermal expansion:

- $\pm 1/8"$ @ 70°F

Note:

Pattern may require additional backing. We recommend a mockup pour simulating job conditions.

Material	Product Code	# of Reuses	Std. Dims.	Color
Styrene	6008-STY	1	4'x10'	White
ABS	6008-ABS	Up to 10	4'x10'	Gray

Legacy Lands Development Lot #1 Landscape Specifications

Centerville City Zoning Code

Shorelands Commerce Park Design Standards

Landscaping.

Landscaping is to be used to enhance the natural shoreland environment and soften the transitions between the built and natural areas.

1. All pervious surface areas shall be landscaped. Dedicated walkways, plazas, and other pedestrian oriented hardscape areas may be included as landscaping, provided that they do not exceed 25% of the required minimum landscaping requirement. As used herein, hardscape means sidewalks, concrete or asphalt trails, plazas, and other non-vegetative construction located in areas designated as landscaping.
2. The landscaping plan of each site shall be unified both internally and externally, and relate to the larger context of the surrounding community. All landscape plans shall consider the context of the shoreland environment and its unique contribution to the character of the community.
3. The landscaping plan shall include a pedestrian circulation element that shows interconnectivity with surrounding sidewalks, trails, and access to open space areas. Each development is to provide appropriate pedestrian connections to usable open space and trail amenities.
4. Developed area landscaping shall utilize a mixture of ornamental and native or local climate plantings. Plantings shall include the predominate use of ornamental grasses, shrubs, and wildflowers that complement the shoreland environment. Large areas of annuals and/or bright colors shall be avoided.

5. Trees and evergreens shall be used sparingly to ensure that the open, grassy character of the shoreland area is maintained. However, trees and evergreens are encouraged for areas needing shading, screening, and privacy.

6. Natural areas shall primarily consist of or be enhanced with native or local climate shrubs, perennials, and ornamental grasses. Plants with potential to become invasive weeds in natural areas shall be prohibited.

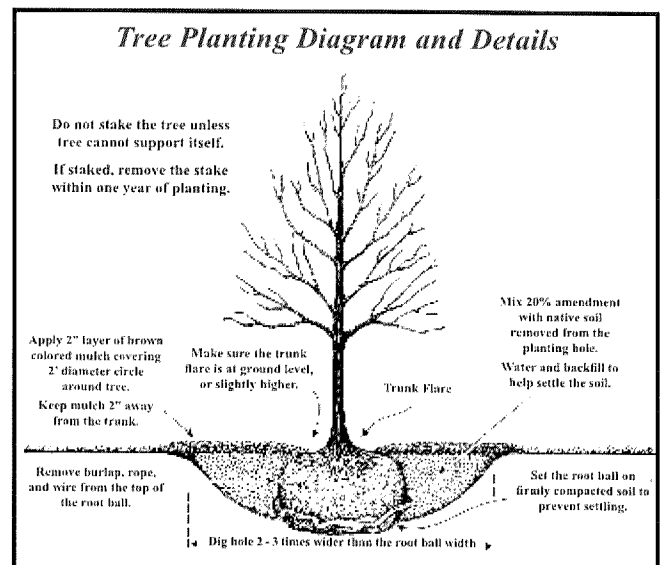
7. Non-linear transition areas between the developed and natural areas shall be created and intermingled with the various styles and plant species to soften the appearance of any transition line.

8. The landscape design shall be coordinated with the placement of utility elements to mitigate their impact and reduce the potential for conflicts. All utility lines shall be placed underground to minimize their impact on the shoreland environment. Easements above the underground utilities may be incorporated into the overall landscape plan as pedestrian pathways. Proper landscape design shall be utilized to mitigate the visual impact of all site utility elements such as transformers, meter boxes, fire protection devices, etc.

9. Landscaped areas shall be prepared with and slopes suitable with their natural surroundings to encourage healthy plant growth and proper drainage.



Mulch Groundcover Picture



Legacy Lands Development Lot #1 Landscape Specifications

J&L Landscaping Service

Tips and Suggestions for Year Round Gardening

801-870-2339 801-870-2359

landinfo1@aol.com

www.JLCadenCenter.com



Planting Your Trees and Shrubs

The natural beauty of trees and shrubs can enhance the appearance of your home and yard. To achieve this goal, plants - like people, need special care during their early years. By placing your plants in the proper location, planting them correctly, and pruning your plants when needed, your trees and shrubs will provide you with many years of beauty and enjoyment.



Find out how to qualify for J&L's Extended 'Dr. Earth' Tree & Shrub Warranty. Read This Handout, especially Step 3, and you start to qualify!

For making the extra effort. A properly planted tree or shrub will be more tolerant of adverse conditions and require much less management than one planted incorrectly.

1. Dig a Large Planting Hole.

The planting hole should be twice as wide and just as deep as the root ball. In severely compacted soils, dig the hole even larger. A large hole is important because roots have a hard time growing in compacted soil. By digging a large hole, and backfilling, the soil will be loosened so the roots can grow faster. The easier the roots can grow, the better the plant will grow.



It's Better to Plant a \$50.00 Tree in a \$100.00 Hole than a \$100.00 Tree in a \$50.00 Hole.

2. Prepare the Hole and the Soil.

Good, rich, native soil mixed with a small amount of **Bumper Crop** is all that is needed for plants to start growing. Mix **25% Bumper Crop** with the native soil dug from the hole. Use **Acid Planting Mix** when planting acid loving plants such as Azaleas, Blueberries, Japanese Maples, and Rhododendrons.



3. Mix **Dr. Earth Starter Fertilizer** in the soil, according to the recommendations on the package, for the size of the tree or shrub you are planting, about 1/4 cup of **Dr. Earth Starter Fertilizer** for each 1 gallon size of the plant's rootball. This fertilizer contains mycorrhizae and seven other beneficial bacteria that help your plant to overcome transplant shock. These bacteria stimulate new 'hair root' development and speed up the natural growth processes both in the soil and within the plant. This organic fertilizer is safe for all newly planted flowers, vegetables, shrubs and trees. For more information about this fertilizer please ask for a copy of our *Dr. Earth Fertilizer Guide*.

4. Plant at the Proper Depth.

The graft, the point where the root system ends and the trunk begins, should be placed just slightly above the ground level. If a plant is planted too deeply, its roots may suffocate. A shrub or tree planted too shallow may dry out too quickly, even if it is watered properly.



5. Always remove the plant from its container.

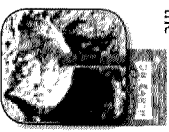
Don't just pull the plant from its pot; remove the plant gently, giving support to the root ball to prevent soil from falling off the roots.



Paper pots - Slit the sides of the pot. Set the plant in the hole, at the proper depth, and remove the sides of the pot. If the shrub or tree is just newly planted in the paper pot, place soil against the sides of the pot to keep the soil from breaking away from the roots while you remove the pot. Do not worry about removing the bottom of the paper pot.

Balled and Burlaped Plants -

Do not remove the burlap from the roots, the burlap will decompose. Set the plant in the hole, at the proper depth. After the shrub or tree is planted and watered thoroughly, cut the strings holding the burlap to the trunk. Then remove all exposed burlap.



Bareroot Trees - Do not let the roots dry out or freeze before they are planted. Keep the roots moist at all times. Spread the roots out in the hole before adding soil. Do not plant the tree too deep. Pack the soil mixture firmly around the roots and then water thoroughly.

6. Fill in the hole half way with your **Bumper Crop**/Soil mixture. Fill the hole with water, and continue adding the soil mix to the proper level. Make a basin around your plant to hold water. The basin should be able to hold at least one to three gallons of water.

7. Fertilize all your trees and shrubs early each spring (early April) for the first three years. An easy way to fertilize young trees and shrubs is with either **Dr. Earth All Purpose Organic Fertilizer** or with **Ross Fertilizer Stakes**. These types of fertilizers help plants grow faster by providing a long lasting plant food. Older trees and shrubs may not need to be fertilized as often.



8. Stake your Tree only if Necessary. If you don't need to stake your tree, then don't. Improper staking may damage the bark, and could kill your tree. Be sure to remove the stake after 1 year.

Small trees may be staked by placing two (not one) 2" x 2" stakes one foot away from the tree (preferably east and west of the tree because of wind patterns). Tie the tree firmly to both stakes using either a wire inside a garden hose (to protect the bark from rubbing against the wire) or by using a stretching plastic tape.



Large trees should be held in place with guy wires. Attach the guy wire (inside a garden hose) two thirds up the tree trunk. Stake the guy wire two feet away from the trunk. Remove all the stakes and wire as soon as the tree has grown enough roots to support itself.

9. Water your plants regularly the first year, until frost. Water your plants every day - with a hose - for the first week.

After the first week, water them two to three times a week, for the first month. You may not need to water all plants every time, but check them regularly. Keep the soil around your plants consistently moist, not constantly soggy wet.



10. Don't rely on sprinklers to water your newly planted trees and shrubs. Sprinklers may either water your plants too much, or the sprinklers may miss the plant entirely. Give your plants plenty of water but make sure that the water drains away from the plant within two hours; to prevent the roots from rotting.



Also, hand water all of your older trees and shrubs, with a hose, at least once or twice a month. Make sure that the water is soaking two to three feet deep into the soil around each plant. Water plants more often during the hot, summer weather. As the temperature lowers in the fall, you don't need to water plants as often. When the leaves drop off in the fall, your plants still need a little moisture until the ground freezes, so make sure that you water your plants occasionally until snowfall.

Keep the Soil Moist, but not Always Soggy Wet.

Legacy Lands Development Lot #1 Landscape Specifications

Shrub Pictures and Descriptions

Petit Bleu Bluebeard

Caryopteris x clandonensis
'MiniBleu'



Once established, needs only occasional watering. Very drought tolerant. Blossoms attract bees and butterflies. Blooms late-summer through fall.

Slow growth to 2'-2.5' tall, 2'-3' wide.

Longwood Blue Bluebeard

Caryopteris x clandonensis 'Longwood Blue'



Valuable color on pure blue flower spikes cloaked in soft aromatic gray-green foliage. Mounding habit. Extends the bloom season with a later flowering period than other Bluebeards.

Medium growing to 4' tall, 4'-5' wide.

Red Flower Carpet Rose

Rosa x 'Noare'



An incredibly prolific bloomer that provides vivid color from spring until winter. Forms a low mound, covered with velvety, carmine red flowers with bright yellow centers. Highly disease resistant foliage emerges with a red tinge and matures to dark green with burgundy edges.

Moderate growth to 2'-3' tall, 3' wide.

Sunshine Blue Bluebeard

Caryopteris incana 'Jason'

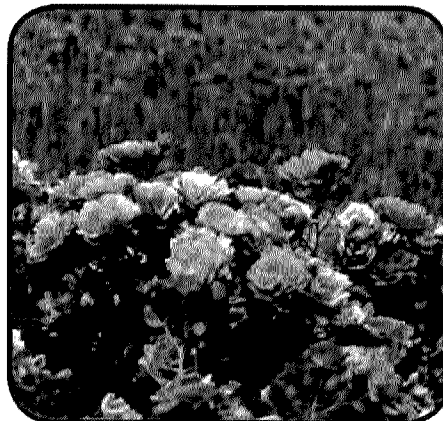


Amethyst blue flowers contrast with the bright yellow foliage for an outstanding late summer to early fall display.

Slow growing to 3'-4' tall, 3'-4' wide.

Pink Flower Carpet Rose

Rosa x 'Noatraum'



This easy-care groundcover rose with vibrant, hot pink flowers provides stunning color, with no deadheading or fancy pruning needed. Exceptional disease resistance means no need to spray. Ideal in most landscape settings.

Moderate growth to 2' tall, 3' wide.

White Flower Carpet Rose

Rosa x 'Noaschnee'



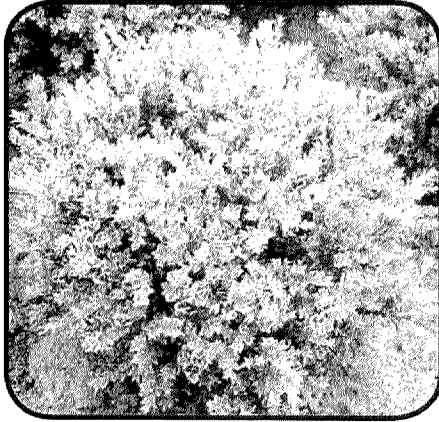
A fuss-free shrub with sparkling white blooms over an extra long flowering season. Resistant to mildew and black spot, and quite tolerant of drought once established. Exceptionally versatile for use along borders or as a groundcover.

Moderate growth to 2'-2.5' tall, 3' wide.

Legacy Lands Development Lot #1 Landscape Specifications

Shrub Pictures and Descriptions

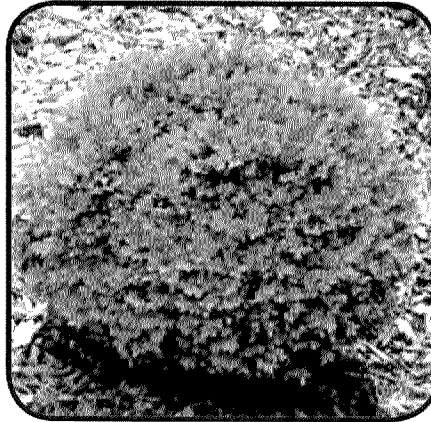
Variegated English Boxwood
Buxus sempervirens 'Variegata'



Small dark green leaves are bordered by an irregular creamy white variegation, perfect for adding interest and color to the year-round landscape. Works well for containers and foundation plantings.

Slow growing to 3'-5' tall and 3'-4' wide.

True Dwarf Boxwood
Buxus sempervirens 'Suffruticosa'



A small, rounded evergreen shrub. Great plant for small locations. A relatively low maintenance shrub, and can be pruned at anytime.

Slow growing to 1'-tall and 1'-1.5' wide.

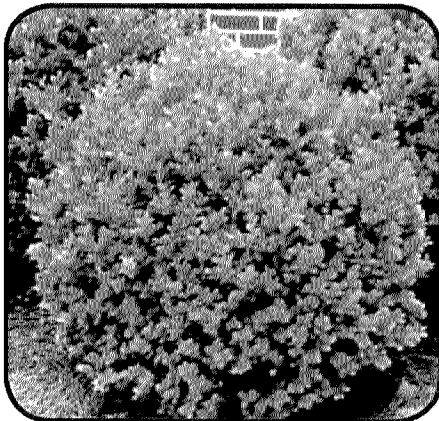
Hicks Yew
Taxus x media 'Hicksii'



The long, upright-growing branches with dense, glossy, dark green foliage naturally form a narrow, columnar habit that works well as a foundation plant, or placed in pairs at entries

Moderate growth to 6'-10' tall and 2'-4' wide.

Winter Gem Boxwood
Buxus microphylla var. japonica 'Winter Gem'



An excellent evergreen shrub. Among the hardiest of the small-leaved boxwoods, the rich green foliage can acquire a golden bronze hue in cold winter zones, but is one of the first to become green again in spring.

Slow growing to 4'-6' tall and 4'-5' wide.

Harbour Dwarf Heavenly Bamboo
Nandina domestica 'Harbour Dwarf'



An attractive small evergreen shrub that forms a dense clump of upright, cane-like stems with soft, narrow, green leaves that emerge with a pink-copper tint in spring and turn a brilliant bronzy-red color in fall and winter.

Slow growing to 1.5' tall, 2.5' wide.

Sky Pencil Holly
Ilex crenata 'Sky Pencil'



A great vertical accent in narrow spaces. Exceptional focal point at front entry. It is a good landscaping option for corners and tight spaces. This plant has leaves with fairly smooth edges (not prickly edges, like other hollies). The small, greenish-white flowers are unimpressive, but when pollination does occur, it produces black berries that attract many birds in search of a treat.

Moderate Growth to 6'-8' Tall, 1.5' - 2' wide.

Legacy Lands Development Lot #1 Landscape Specifications

Tree Pictures and Descriptions

Ivory Pillar Lilac Tree

Syringa reticulata 'Willamette'



Ivory Pillar™ Japanese Tree Lilac is a spectacular tree. In late spring it will bloom fragrant, creamy-white flowers. Dark green foliage lasts throughout summer. This tree is more upright and narrower than other reticulatas. Selected specifically for its pyramidal form.

Moderate growth to 20'-25' tall and 10'-15' wide.

Columnar Green Beech

Fagus sylvatica 'Dawyck Green'

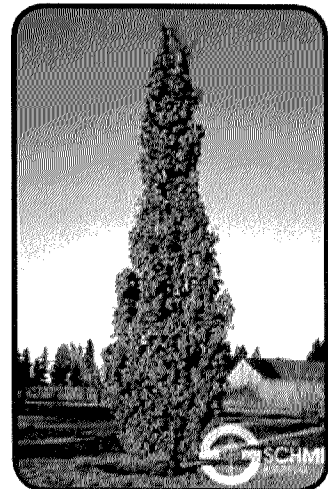


One of the most striking of columnar trees. Its deep green leaves and tight columnar form make it an ideal tree for landscapes where a strong vertical element is needed. Very little pruning is necessary to maintain its shape.

Slow growing 45' tall, 10'-15' wide.

Skyrocket Columnar Oak

Quercus robur 'Fastigiata'

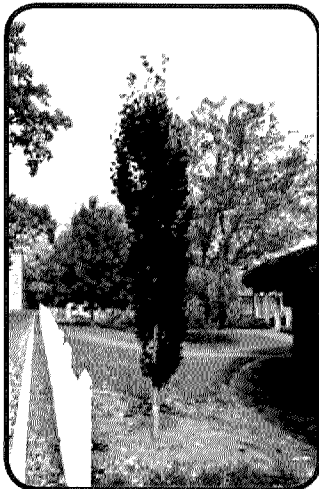


A uniformly narrow shape, excellent for narrow plantings. This variety has proven to stay tighter in form than the typical fastigiata English Oak.

Slow growing 45' tall, 10'-15' wide.

Columnar Purple Beech

Fagus sylvatica 'Dawyck Purple'



A purple leaf form of Fastigiata Beech that matures to a slightly smaller height and spread. It holds its purple leaf color well in the summer.

Slow growing to 40' tall, and 12' wide.

Red Obelisk Beech

Fagus sylvatica 'Red Obelisk'

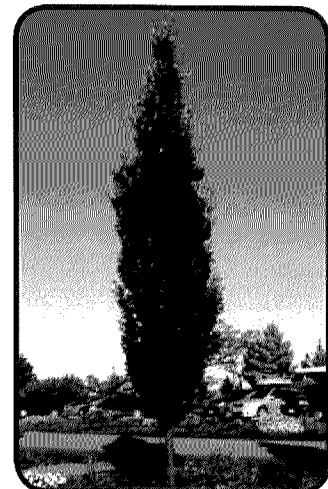


Tall, dark and slender are attributes of this handsome columnar purple beech. Similar to Dawyck Purple Beech, it is a bit more compact in form. Leaves emerge reddish-purple and are distinguished by undulating, slightly lobed margins. , presenting a narrow column that's a great fit for narrow spaces

Slow growing 35' tall, 10'-12' wide.

Skinny Genes Columnar Oak

Quercus robur x alba 'JFS-KW2QX'
PP 24442



Columnar and fastigiata in form, it is the narrowest of the English x White Oak hybrids. The glossy, very dark green summer foliage is mildew resistant and gives a clean summer appearance, then turns yellow in autumn.

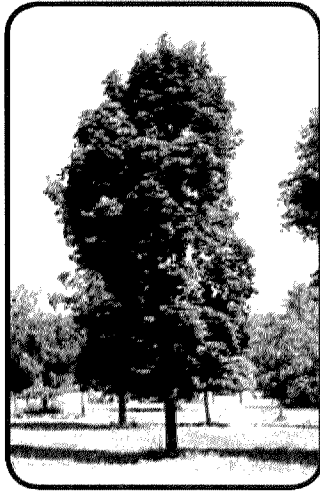
Slow growing to 45' tall, 10' wide.

Legacy Lands Development Lot #1 Landscape Specifications

Perennial Flower Pictures and Descriptions

Colomnar Norway Maple

Acer platanoides 'Columnar'



Upright and columnar. Great tree for small areas, A reliable shade tree. It also makes a wonderful street tree planting. This is a relatively low maintenance tree, and does not require much pruning

Slow growing 40' tall, 12'-15' wide.

Hosta

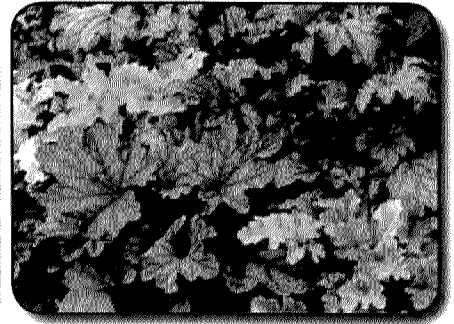
Hosta - Assorted Varieties



Wonderful, decorative plants. Hostas are most noted for their leaves, although they do produce fragrant flowers during the summer. Hosta leaves vary in size, color, shape and texture. The leaves may be smooth, ribbed, waxy, long, narrow, short, fat, broad or paddle-shaped. Hosta leaves may be yellow, light-green, dark green, green with a white edge, green with a white center, blue, blue-green or many other variations. Hostas are truly interesting plants, perfect for any flower garden, sun or shade.

Coral Bells

heuchera - Assorted Varieties



Heuchera plants form round, colorful mounds of leaves with a woody rootstock or crown at their base. It is grown more for the foliage but the flowers add color and variety as well. Small bell-shaped flowers on tall stems attract hummingbirds and make nice cut flowers.

Available in many shades of purple, rose, green and variegated varieties.

Princeton Sentry Ginkgo

Ginkgo biloba 'Princeton Sentry'



A fruitless Ginkgo cultivar that is pest-free. Chartreuse, fan-shaped leaves that flutter in the breeze turn a lovely flaxen yellow in the fall. A handsome landscape specimen with a narrow columnar form.

Slow growing to 40' - 50' tall and 20' wide.

Legacy Lands Development Lot #1 Landscape Specifications

Ornamental Grass Pictures and Descriptions

Foerster's Feather Reed Grass
Calamagrostis x acutiflora 'Karl Foerster'



Create a stunning vertical effect with feathery stalks that emerge reddish brown in spring and turn a rich golden color in fall. Blooms two to three weeks earlier than common feather reed grass. Thrives in wet soils, yet tolerates drier conditions. Stalks make great cut flowers. Sterile seeds do not produce unwanted seedlings.

Foliage reaches 1 1/2 to 2 ft. tall and wide; bloom stalks reach 6 ft. tall.

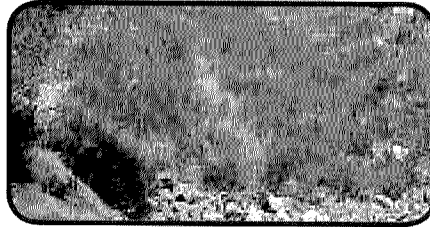
Hardy Pampas Grass
Erianthus ravennae



One of the loveliest ornamental grasses, superb as an architectural specimen or large accent. Foliage has a clumping habit; plant in groups to create a screen or wind-break. Long, showy, silvery white, silky plumes have gorgeous autumn coloring, persist into winter, and are superb in fresh or dried floral arrangements.

Foliage reaches 8 to 10 ft. tall, 4 to 6 ft. wide; blooms rise taller.

Non irrigated Grass Mix
Native and dryland mix



A blend of grasses selected to give effective erosion control and bank stabilization. Crested Wheatgrass 25%, Siberian Wheatgrass 23%, Smooth Brome 20%, Intermediate Wheatgrass 15%, Orchardgrass 10%, Alfalfa 7%

Grass can be mowed occasionally - as needed to maintain natural appearance.

Rocky Mountain Wildflower Mix

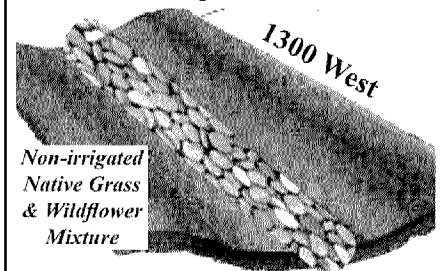
Annual and perennial mix.



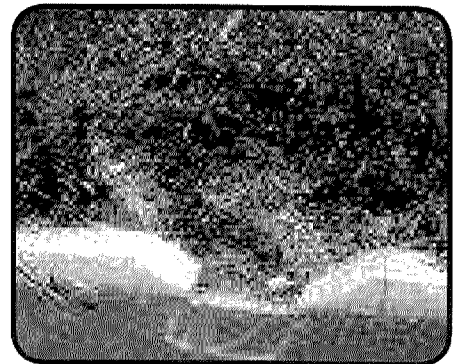
Rocky Mountain Wildflower Mix seeds promise an authentic touch of the untamed American west in your very own garden. Wildflower Rocky Mountain Mix seeds grow a stunning blend of 22 wildflowers native to the Rocky Mountain regions including larkspur, poppy, wallflower, gaillardia, catchfly, columbine, and Forget-Me-Not. Rocky Mountain Wildflower Mix seeds are an ideal grow for rustic, natural flower beds or any wide open spaces.

Mix 1lb wildflower seed with 20 lb grass seed.

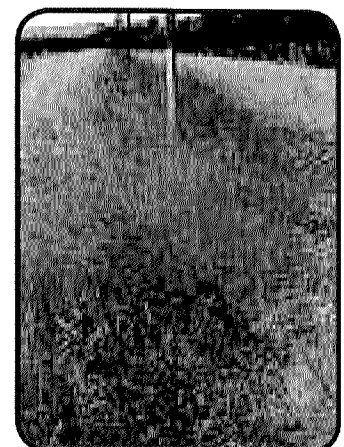
Swale Description and Details



Cobble stone in low point



Curbcut for Swale



Legacy Lands Development Lot #1 Sprinkler Specifications

Figure 1

Mushroom Bubble Head

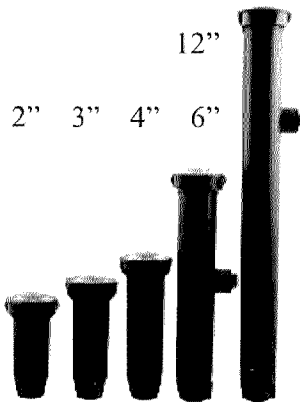
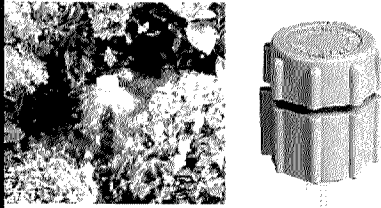
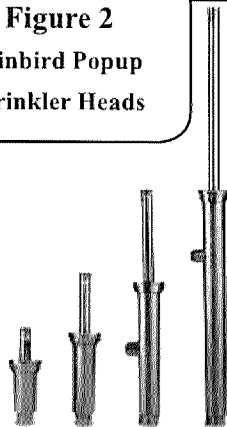


Figure 2

**Rainbird Popup
Sprinkler Heads**



Strip Pattern Nozzle Performance Data

Nozzle Model	Pressure PSI	Width x Length	Flow GPM
LCS-515	20	4' x 14'	0.55
	25	5' x 15'	0.60
	30	5' x 15'	0.65
Left-Corner Strip	35	5' x 15'	0.70
	40	5' x 15'	0.75
RCS-515	20	4' x 14'	0.55
	25	5' x 15'	0.60
	30	5' x 15'	0.65
Right-Corner Strip	35	5' x 15'	0.70
	40	5' x 15'	0.75
SS-530	20	4' x 28'	1.10
	25	5' x 30'	1.20
	30	5' x 30'	1.30
Side Strip	35	5' x 30'	1.40
	40	5' x 30'	1.50
ES-515	20	4' x 14'	0.55
	25	5' x 15'	0.60
	30	5' x 15'	0.65
End Strip	35	5' x 15'	0.70
	40	5' x 15'	0.75
CS-530	20	4' x 28'	1.10
	25	5' x 30'	1.20
	30	5' x 30'	1.30
Center Strip	35	5' x 30'	1.40
	40	5' x 30'	1.50
SS-918	20	8' x 17'	1.45
	25	9' x 18'	1.58
	30	9' x 18'	1.72
Side Strip	35	9' x 18'	1.88
	40	9' x 18'	2.08

Figure 4

Spray Pattern Details

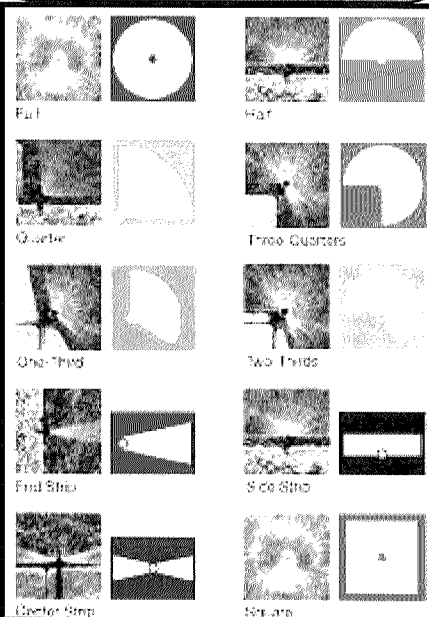


Figure 6

Side Strip Spray Pattern

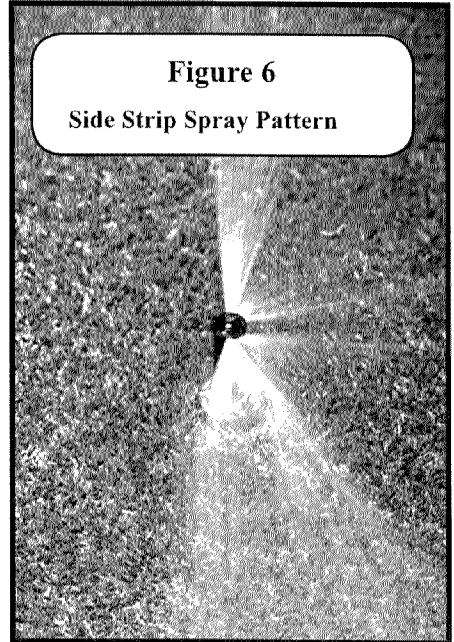


Figure 7

Valve Box Diagram

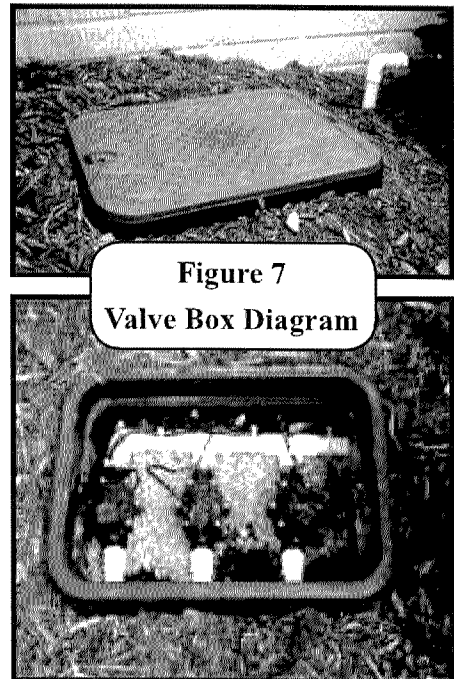
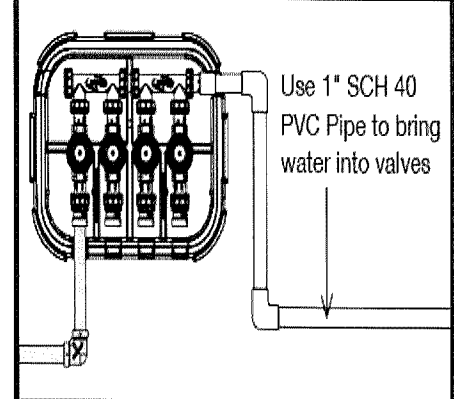
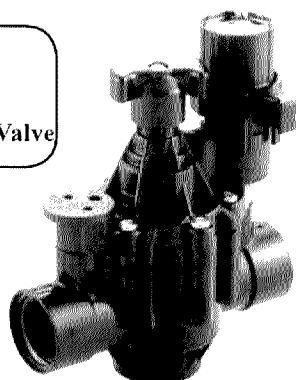
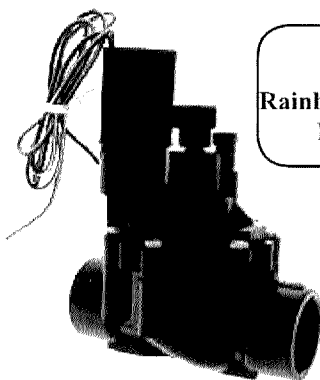


Figure 5

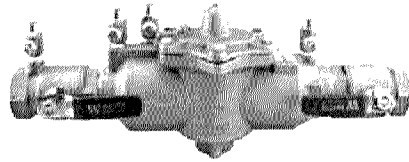
**Rainbird DVF Valve
Rainbird PGA Valve**



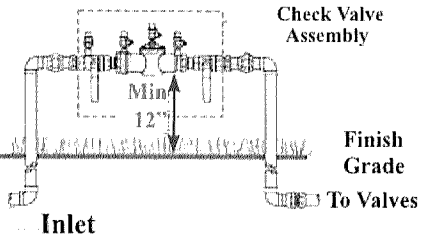
Legacy Lands Development Lot #1 Sprinkler Specifications

Figure 3

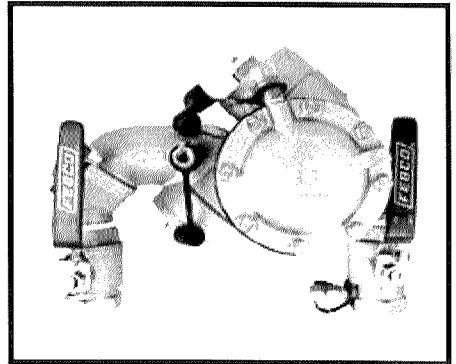
Reduced Pressure Backflow Preventer



Reduced Pressure Backflow Preventer

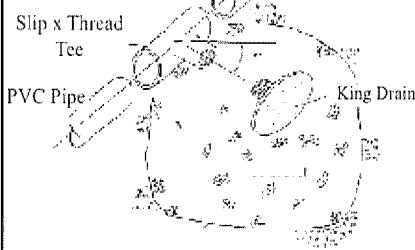


Note: All devices must be tested and certified annually.

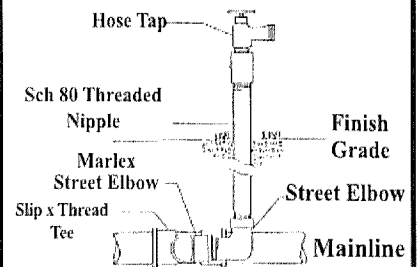


Automatic Drain Valve

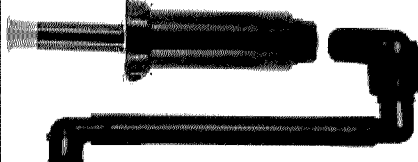
Must be placed in each low point to allow water to drain from the pipe.



Hose Bib Swing Joint Assembly

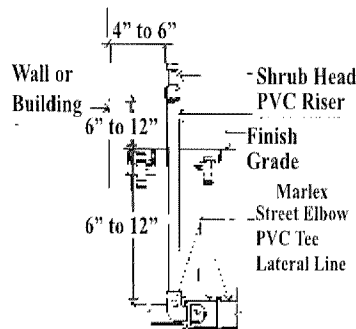


Swing Joint Parts

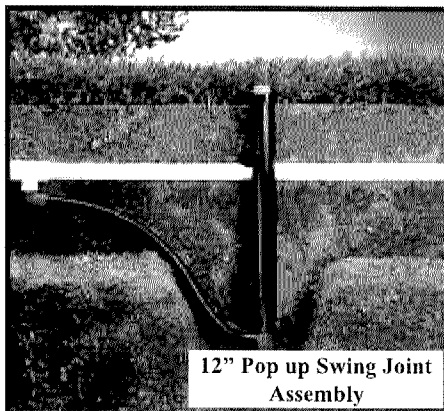


1 Marlex elbow, 2 Swing Pipe elbows, 12\" to 18\" Swing Pipe

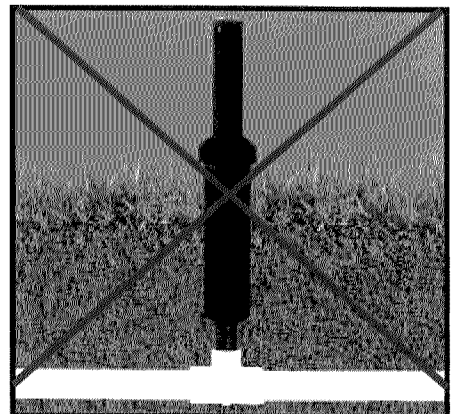
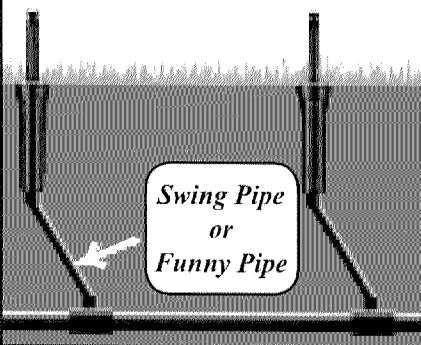
Shrub Head Swing Joint Assembly



4\" Pop up Swing Joint Assembly



Swing Joint Installation



143.38'

N89° 56' 56"W 158.60'

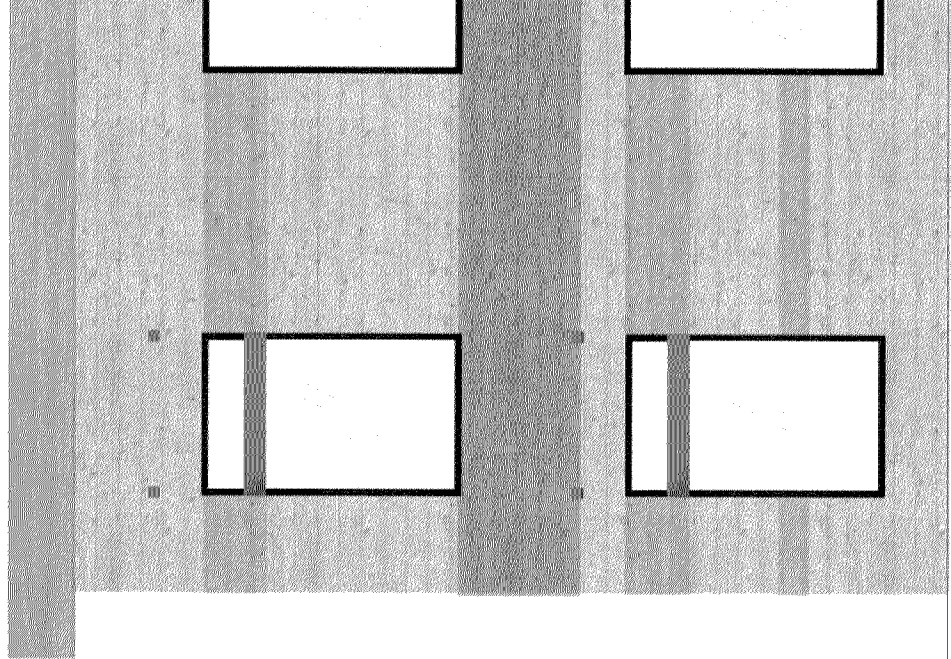
C-3



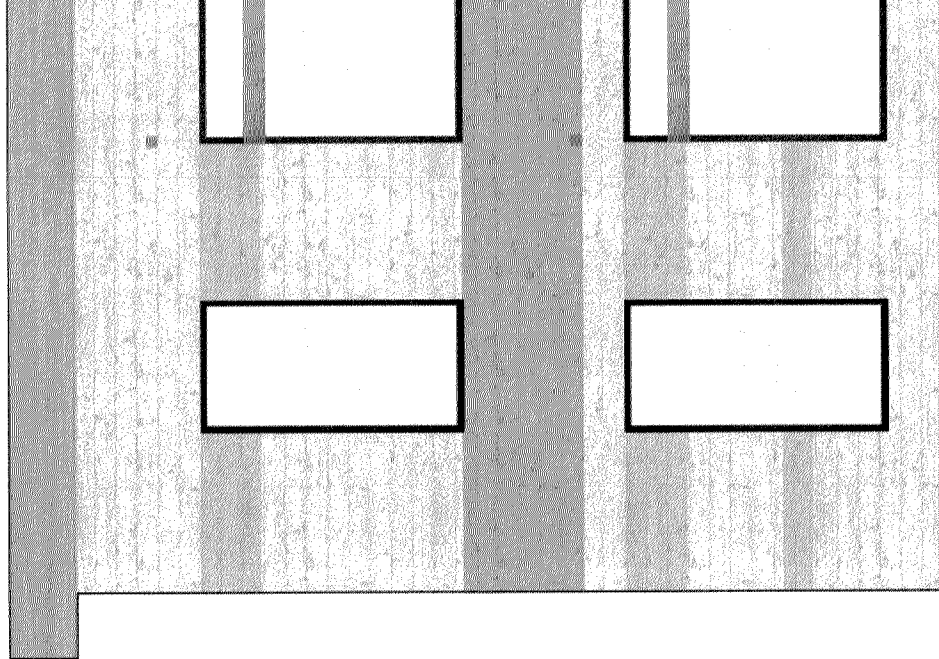
C-3

143.38'

N89° 56' 56"W 158.60'







**CENTERVILLE
PLANNING COMMISSION
Staff Backup Report
12/11/2019**

Item No. 3.

Short Title: Public Hearing - Zoning Code Amendments - Chapter 12.69 (Medical Cannabis Facilities)

Initiated By: Lisa Romney, City Attorney

Scheduled Time:

SUBJECT

LEGISLATIVE DECISION

Consider proposed Zoning Code Amendments enacting Chapter 12.69 regarding Medical Cannabis Facilities
- Ordinance No. 2019-26

RECOMMENDATION

BACKGROUND

The Utah Legislature recently adopted a number of bills regarding the use and sale of medical cannabis, including, but not limited to the Utah Medical Cannabis Act, as set forth in Utah Code §§ 26-61a-101, et seq., the Cannabis Production Establishments Act, as set forth in Utah Code §§ 4-41a-101, et seq., and the Hemp and Cannabinoid Act, as set forth in Utah Code §§ 4-41-101, et seq. The attached ordinance is intended to provide land use regulations for the location and operation of cannabis production establishments and medical cannabis pharmacies in accordance with applicable provisions of State law. These types of facilities are subject to locational restrictions set forth in State law, including distance requirements from community locations and primarily residential zones.

ATTACHMENTS:

Description

- ▢ Ordinance No. 2019-26 - Medical Cannabis Facilities
- ▢ Cannabis Production Establishment Location Restriction Map
- ▢ Medical Cannabis Pharmacy Location Restriction Map

ORDINANCE NO. 2019-26

AN ORDINANCE ENACTING CHAPTER 12.69 (MEDICAL CANNABIS FACILITIES) OF THE CENTERVILLE ZONING CODE TO ADD NEW DEFINITIONS AND STANDARDS FOR MEDICAL CANNABIS FACILITIES PURSUANT TO THE UTAH MEDICAL CANNABIS ACT

WHEREAS, the Utah Legislature recently adopted a number of bills regarding the use and sale of medical cannabis, including, but not limited to the Utah Medical Cannabis Act, as set forth in Utah Code §§ 26-61a-101, et seq., the Cannabis Production Establishments Act, as set forth in Utah Code §§ 4-41a-101, et seq., and the Hemp and Cannabinoid Act, as set forth in Utah Code §§ 4-41-101, et seq.; and

WHEREAS, as part of the State legislation regarding the use and sale of medical cannabis, municipalities are required to adopt land use regulations, development agreements, or land use decisions regarding cannabis production establishments and medical cannabis pharmacies as more particularly provided in Utah Code § 10-9a-528; and

WHEREAS, the proposed amendments to the Zoning Code set forth proposed new definitions for cannabis production establishment and medical cannabis pharmacy, amend the use tables for such new uses, and define zones within the City that are considered primarily residential for purposes of locational restrictions for such facilities;

WHEREAS, the proposed amendments to the Zoning Code as set forth herein have been reviewed by the Planning Commission and the City Council and all appropriate public notices have been provided and appropriate public hearings have been held in accordance with Utah law to obtain public input regarding the proposed revisions to the Zoning Code.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF CENTERVILLE CITY, STATE OF UTAH, AS FOLLOWS:

Section 1. Enactment. Chapter 12.69 of the Centerville Zoning Code regarding Medical Cannabis Facilities is hereby enacted as follows:

12.69 Medical Cannabis Facilities

12.69.010 Definitions

12.69.020 Cannabis Production Establishment Standards

12.69.030 Cannabis Production Establishment Locational Restrictions

12.69.040 Cannabis Production Establishment Map

12.69.050 Medical Cannabis Pharmacy Standards

12.69.060 Medical Cannabis Pharmacy Locational Restrictions

12.69.070 Medical Cannabis Pharmacy Map

12.69.010 Definitions

- (a) Cannabis Production Establishment. A cannabis cultivation facility, a cannabis processing facility, or an independent cannabis testing laboratory, as such terms are more particularly defined in Utah Code § 4-41a-102.

- (b) Medical Cannabis Pharmacy. A person or entity that acquires or intends to acquire, possess and sell, or intends to sell cannabis in a medicinal dosage form, a cannabis product in a medicinal dosage form, or a medical cannabis device, to a medical cannabis cardholder, as more particularly defined in Utah Code § 26-61a-102.
- (c) Primarily Residential. For purposes of this Chapter and applicable provisions of State law, the term “primarily residential” shall mean the following zones within Centerville City:
 - (1) Agricultural-Low (A-L)
 - (2) Residential-Low (R-L)
 - (3) Residential-Medium (R-M)
 - (4) Residential-High (R-H)
 - (5) Florentine Villa Special District
 - (6) Any residential or mixed use PDO or PUD, including, but not limited to:
 - (A) Chapel Ridge PDO
 - (B) Legacy Commons PDO
 - (C) Legacy Crossing PDO
 - (D) Legacy Trail Apartments PDO
 - (E) Pineae Village PUD
 - (F) Sheffield Downs PDO
- (d) Other Definitions. The definitions set forth in Utah Code 26-61a-101, et seq., regarding the Utah Medical Cannabis Act, and Utah Code 4-41a-101, et seq., regarding the Cannabis Production Establishments Act, are hereby adopted by this Section.

12.69.020 Cannabis Production Establishment Standards

The following standards shall apply to all cannabis production establishments:

- (a) The cannabis production establishment shall comply with the location restrictions set forth in applicable State law and the cannabis production establishment map set forth in CZC 12.69.030.
- (b) There shall be no emission of dust, fumes, vapors, odors, or waste into the environment from any cannabis production establishment or facility where growing, processing, or testing of cannabis occurs.

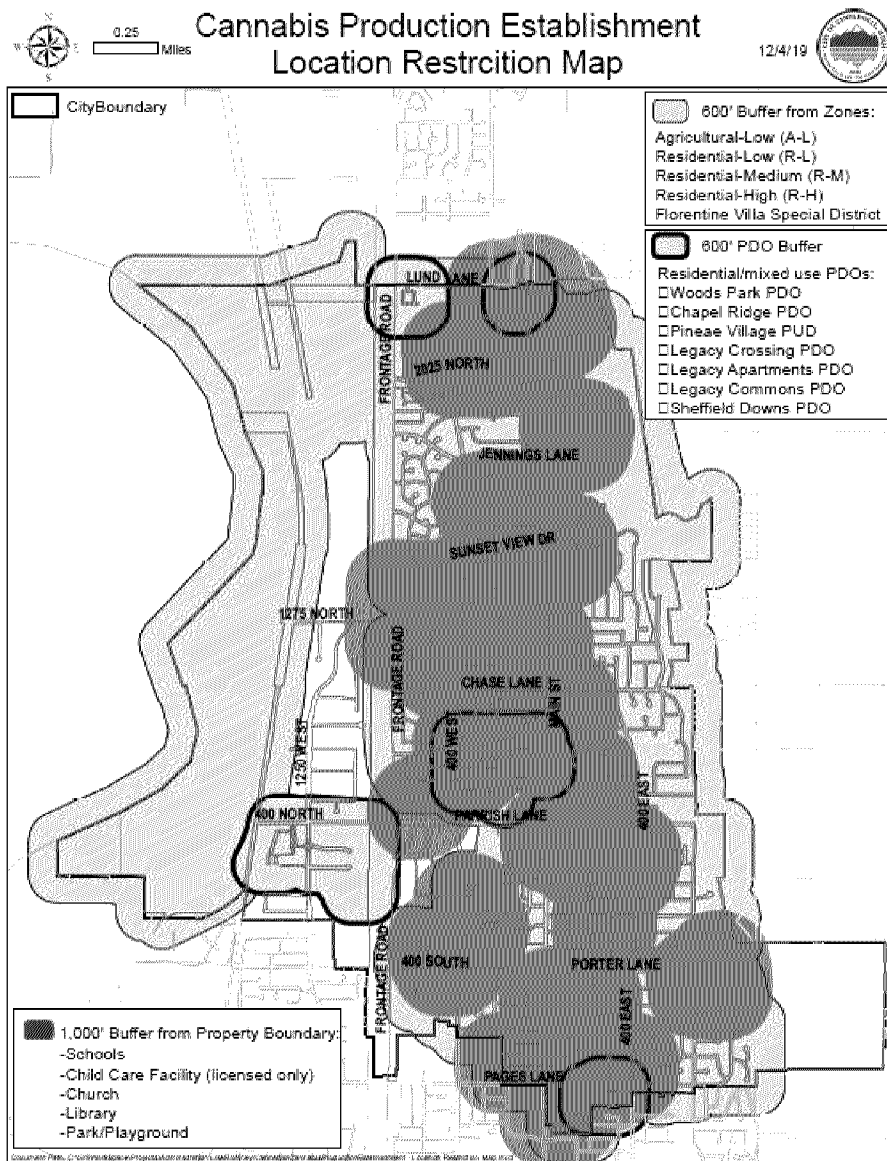
- (c) The cannabis production establishment shall meet the land use requirements for the zone in which it is located.
- (d) The cannabis production establishment shall obtain a City business license before conducting business within the City.

12.69.030 Cannabis Production Establishment Locational Restrictions

- (a) Community Locations.
 - (1) Based on applicable State law, cannabis production establishments shall not be located within 1,000 feet of a community location.
 - (2) The distance requirement set forth in Subsection (a) shall be measured from the nearest entrance to the cannabis production establishment by following the shortest route of ordinary pedestrian travel to the property boundary of the community location or primarily residential zone.
 - (3) Community location is defined by State law to include a public or private school, a licensed child-care facility or preschool, a church, a public library, a public playground, or a public park.
 - (4) The locational restrictions for cannabis production establishments is more particularly described and depicted on the Cannabis Production Establishments Map set forth in CZC 12.69.040.
- (b) Primarily Residential Zone.
 - (1) Base on applicable State law, a cannabis production establishment shall not be located within 600 feet of a primarily residential zone.
 - (2) The distance requirement set forth in Subsection (b) shall be measured from the nearest entrance to the cannabis production establishment by following the shortest route of ordinary pedestrian travel to the property boundary of the primarily residential zone.
 - (3) A primarily residential zone is more particularly defined in CZC 12.69.010.

12.69.040 Cannabis Production Establishment Map

The locational restrictions for cannabis production establishments from community locations and primarily residential zones is more particularly described and depicted on the following Cannabis Production Establishment Map.



12.69.050 Medical Cannabis Pharmacy Standards

The following standards shall apply to all medical cannabis pharmacies:

- (a) The medical cannabis pharmacy shall comply with the location restrictions set forth in applicable State law and CZC 12.69.060 and the Medical Cannabis Pharmacy Map set forth in CZC 12.69.070.
- (b) No cannabis products shall be visible from outside the medical cannabis pharmacy.
- (c) The medical cannabis pharmacy shall meet the land use requirements for the zone in which it is located.
- (d) The medical cannabis pharmacy shall obtain a City business license before conducting business within the City.

12.69.060 Medical Cannabis Pharmacy Locational Restrictions

(a) Community Locations.

- (1) Based on applicable State law, medical cannabis pharmacies shall not be located within 1,000 feet of a community location.
- (2) The distance requirement set forth in Subsection (a) shall be measured from the nearest entrance to the medical cannabis pharmacy by following the shortest route of ordinary pedestrian travel to the property boundary of the community location or primarily residential zone.
- (3) Community location is defined by State law to include a public or private school, a licensed child-care facility or preschool, a church, a public library, a public playground, or a public park.
- (4) The locational restrictions for medical cannabis pharmacies is more particularly described and depicted on the Medical Cannabis Pharmacy Map set forth in CZC 12.69.070.

(b) Primarily Residential Zone.

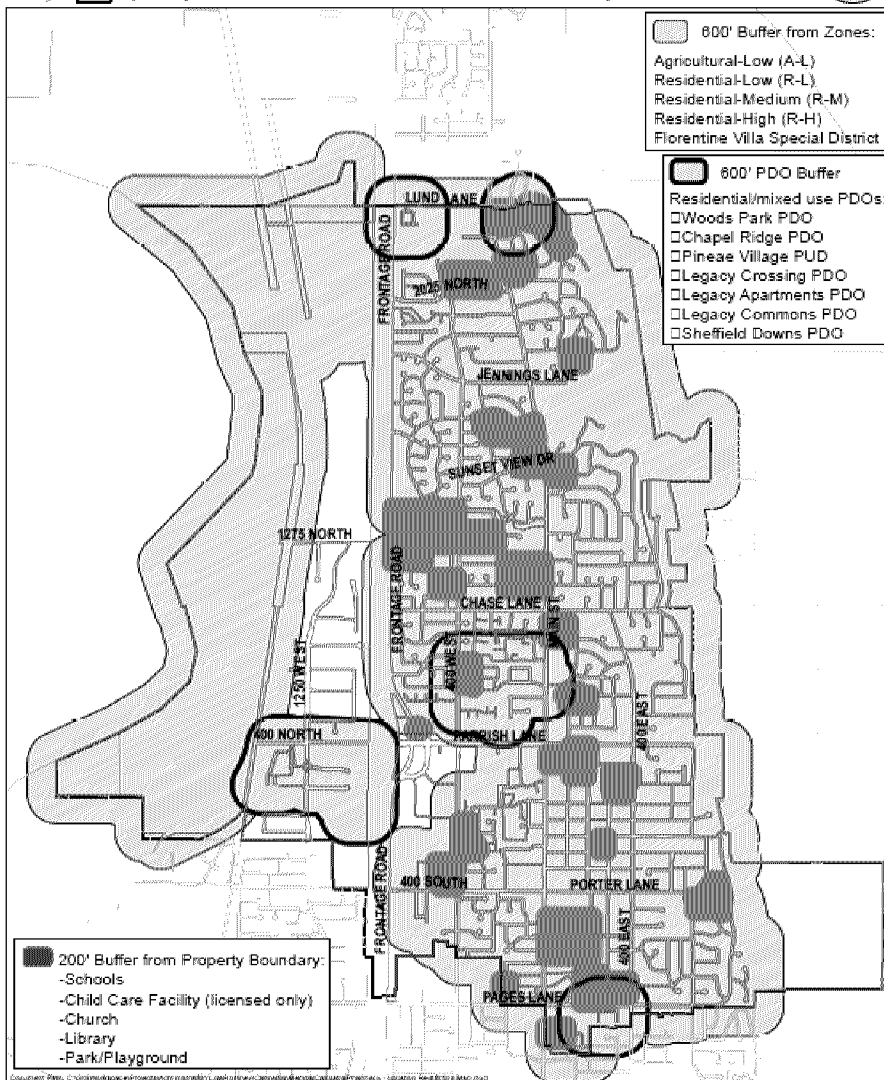
- (1) Base on applicable State law, a medical cannabis pharmacy shall not be located within 600 feet of a primarily residential zone.
- (2) The distance requirement set forth in Subsection (b) shall be measured from the nearest entrance to the medical cannabis pharmacy by following the shortest route of ordinary pedestrian travel to the property boundary of the primarily residential zone.
- (3) A primarily residential zone is more particularly defined in CZC 12.69.010.

12.69.070 Medical Cannabis Pharmacy Map

The locational restrictions for medical cannabis pharmacies from community locations and primarily residential zones is more particularly described and depicted on the following Medical Cannabis Pharmacy Map.



Medical Cannabis Pharmacy Location Restriction Map



Section 2. Severability. If any section, part or provision of this Ordinance is held invalid or unenforceable by a court of competent jurisdiction, such invalidity or unenforceability shall not affect any other portion of this Ordinance, and all sections, parts and provisions of this Ordinance shall be severable.

Section 3. Omission Not a Waiver. The omission to specify or enumerate in this ordinance those provisions of general law applicable to all cities shall not be construed as a waiver of the benefits of any such provisions.

Section 4. Effective Date. This Ordinance shall become effective immediately upon publication or posting, or thirty (30) days after passage, whichever occurs first.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF CENTERVILLE CITY,
STATE OF UTAH, ON THIS 17ST DAY OF DECEMBER, 2019.**

ATTEST:

CENTERVILLE CITY

Leah Romero, City Recorder

By: _____
Mayor Clark A. Wilkinson

Voting by the City Council:

	“AYE”	“NAY”
Councilmember Fillmore	_____	_____
Councilmember Ince	_____	_____
Councilmember Ivie	_____	_____
Councilmember McEwan	_____	_____
Councilmember Mecham	_____	_____

CERTIFICATE OF PASSAGE AND PUBLICATION OR POSTING

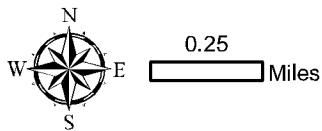
According to the provisions of the U.C.A. § 10-3-713, as amended, I, the municipal recorder of Centerville City, hereby certify that foregoing ordinance was duly passed by the City Council and published, or posted at: (1) 250 North Main; (2) 655 North 1250 West; and (3) RB’s Gas Station, on the foregoing referenced dates.

LEAH ROMERO, City Recorder

DATE: _____

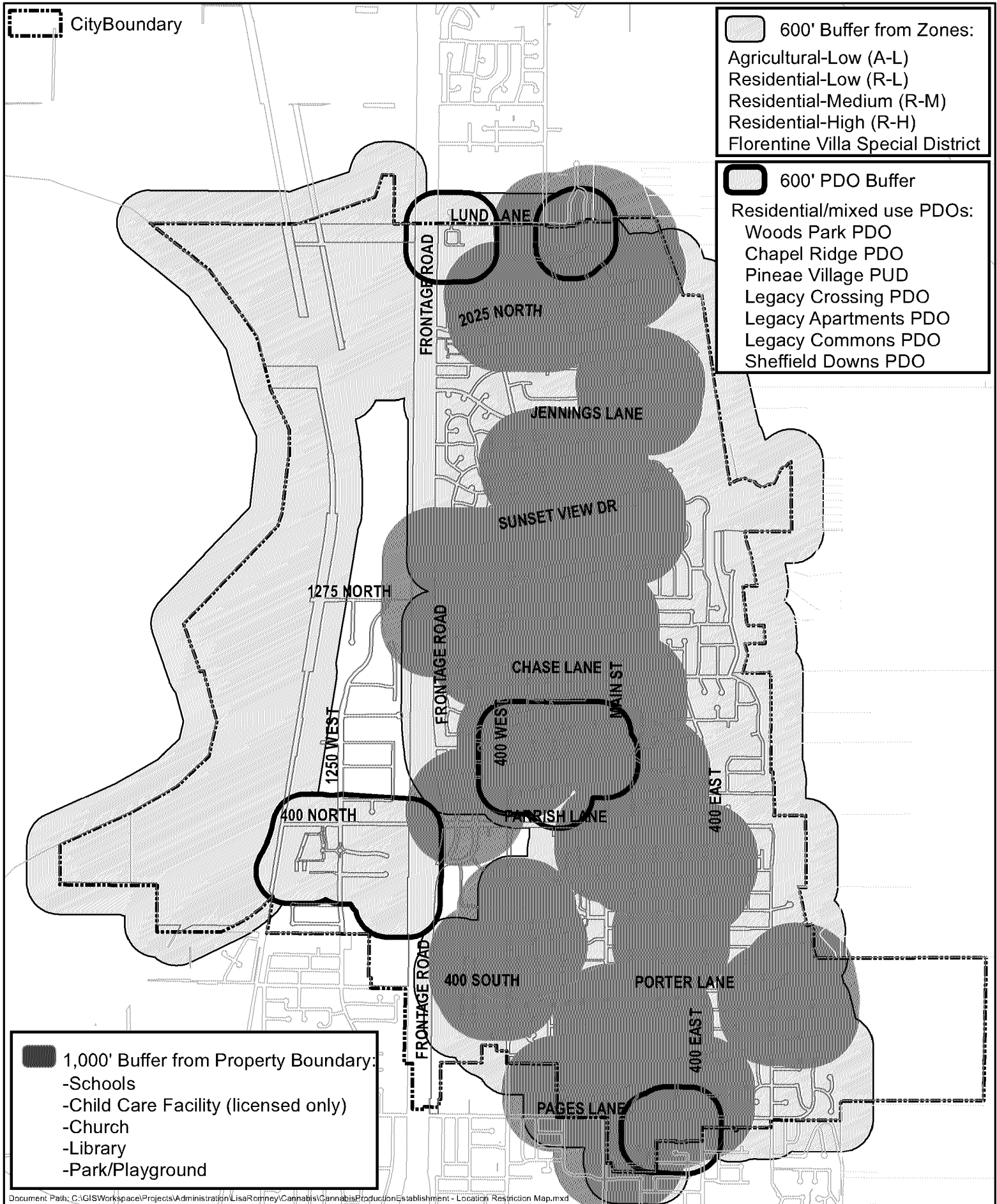
RECORDED this ____ day of _____, 2019.

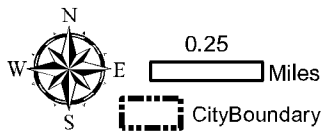
PUBLISHED OR POSTED this ____ of _____, 2019.



Cannabis Production Establishment Location Restriction Map

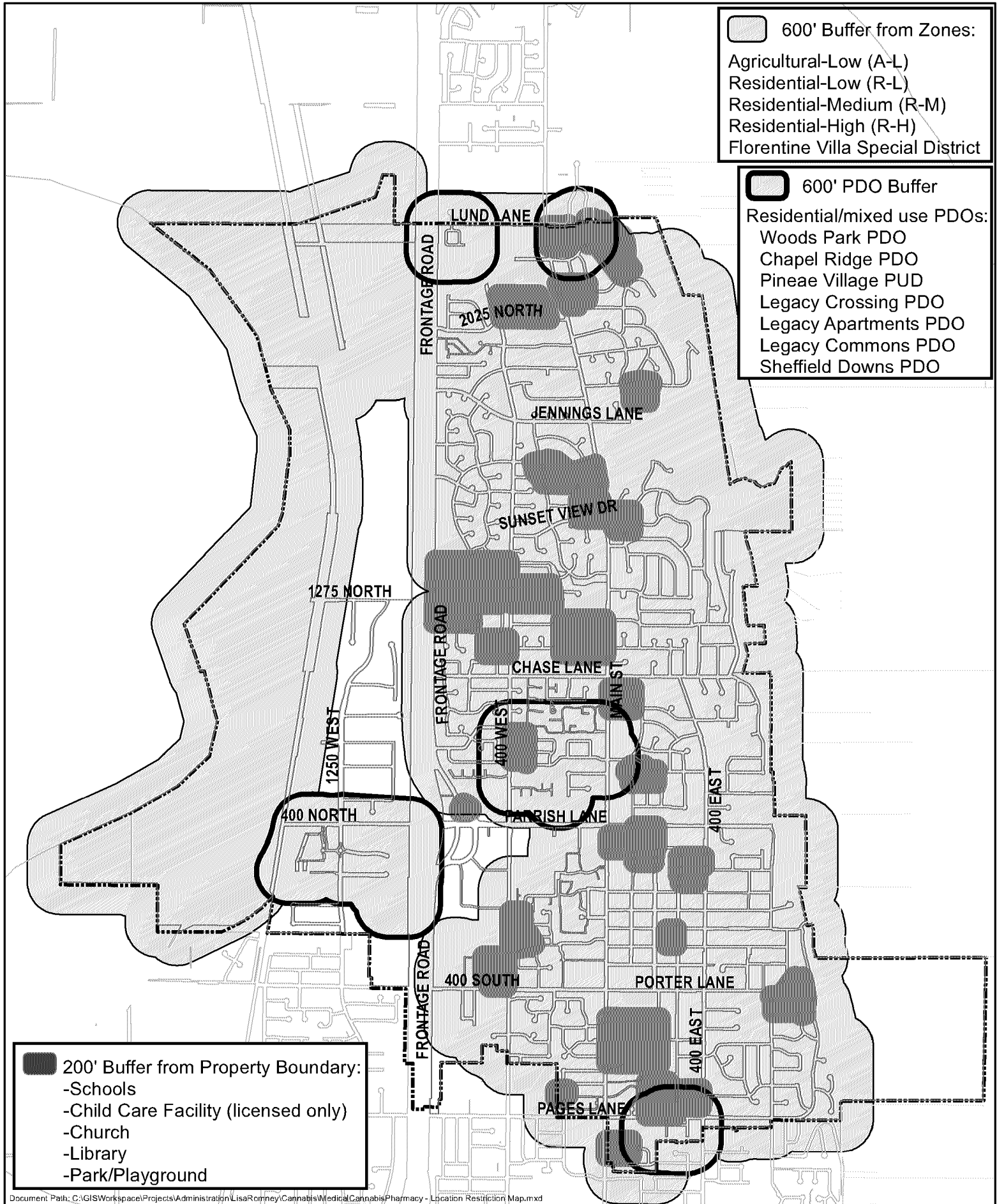
12/4/19





Medical Cannabis Pharmacy Location Restriction Map

12/4/19



**CENTERVILLE
PLANNING COMMISSION
Staff Backup Report
12/11/2019**

Item No. 4.

Short Title: Discussion - Subdivision Ordinance Updates - Chapter 20 (Enforcement)

Initiated By: Lisa Romney, City Attorney

Scheduled Time:

SUBJECT

Continue discussion of proposed revisions to City Subdivision Ordinance - CMC 15 (Subdivisions)

RECOMMENDATION

BACKGROUND

As part of the process to update and revise the City Subdivision Ordinance, a copy of the latest Chapter 20 (Enforcement) is attached for Planning Commission review. Chapter 20 addresses enforcement and penalty provisions for violations of the Subdivision Ordinance.

ATTACHMENTS:

Description

- ▢ Subdivision Ordinance - Chapter 20 (Enforcement)

TITLE 15 SUBDIVISIONS

CHAPTER 15.20 ENFORCEMENT

- 15.20.010. Purpose**
- 15.20.020. Scope**
- 15.20.030. Definitions**
- 15.20.040. Enforcement Authority**
- 15.20.050. Issuance of Permits**
- 15.20.060. Types of Violations**
- 15.20.070. Persons Liable**
- 15.20.080. Separate and Continuing Violation**
- 15.20.090. Remedies and Enforcement**
- 15.20.100. Penalty**
- 15.20.110. Nonconforming Use as Affirmative Defense**
- 15.20.120. Complaint Procedures**
- 15.20.130. Enforcement Procedures**
- 15.20.140. Civil Penalty Procedures**
- 15.20.150. Criminal Penalty Procedures**
- 15.20.160. Other Enforcement Matters**
- 15.20.170. Appeal**

15.20.010. Purpose

The purpose of this Chapter is to establish the remedies, penalties, and procedures for enforcement of this Title.

15.20.020. Scope

The remedies, penalties, procedures, and other matters set forth in this Chapter shall apply to any violation of the provisions of this Title. The remedies, penalties, and procedures set forth herein are not intended to limit or waive any remedies or rights under the law. The provisions of this Chapter shall not invalidate any other chapter, section, or provision of the Centerville Municipal Code or applicable law, but shall be read in conjunction with such chapters, sections, and provision, and shall be used as an additional remedy for enforcement of violations.

15.20.030. Definitions

Certain words and phrases in this Chapter are defined in CMC 15.02 (Definitions).

15.20.040. Enforcement Authority

This Title shall be administered and enforced by the Zoning Administrator or other authorized enforcement official.

15.20.050. Issuance of Permits

Every official and employee of the City who is vested with the duty or authority to issue permits shall conform to the provisions of this Title and shall not issue any permit, certificate, or license for a use, building, or purpose in conflict with the provisions of this Title. Any permit, certificate, or license issued in conflict with the provisions of this Title, intentionally or otherwise, or which is issued upon a false statement of fact material to the issuance of the permit shall be void.

15.20.060. Types of Violations

It shall be unlawful for any person to violate any provision of this Title, cause the violation of any provision of this Title, or fail or refuse to do some act required under this Title, including, but not limited

to, any of the following acts:

- (a) To engage in any development, use, construction, remodeling, or other activity of any nature upon the land and improvements thereon subject to the jurisdiction of the City without all of the required permits, approvals, certificates, and other forms of authorization required by this Title or other City ordinance in order to conduct or engage in such activity;
- (b) To engage in any development, use, construction, remodeling, or other activity which is contrary to the terms and conditions of any permit, approval, certificate, or other form of authorization required to engage in such activity;
- (c) To violate, by act or omission, any lawful term, condition, or qualification placed by the City Council, Planning Commission, Board of Adjustment, or officer of the City, as applicable, upon a required permit, certificate, or other form of authorization or approval granted by the City Council, Planning Commission, Board of Adjustment, or other City officer allowing the use, development, or other activity upon land or improvements thereon;
- (d) To erect, construct, reconstruct, remodel, alter, maintain, move, or use any building or structure, or to use any land in violation of this Title;
- (e) To reduce or diminish any lot area so that setbacks or open spaces shall be smaller than prescribed by this Title and any applicable site plan or subdivision plat; or
- (f) To remove, deface, obscure, or otherwise interfere with any notice required by this Title.

15.20.070. Persons Liable

The owner, owner's agent, tenant, and/or occupant of any building or land or part thereof, and any builder, contractor, agent or other person who participates in, assists, directs, or creates any situation that is contrary to the requirements of this Title may be held responsible for the violation and shall be subject to the penalties and remedies provided herein.

15.20.080. Separate and Continuing Violation

Each day that any violation of this Title is committed, maintained, continued, or permitted shall constitute a separate offense for purposes of the penalties and remedies available to the City. Accumulation of the penalties for violations, but not the obligation for payment of penalties already accrued, shall stop on correction of the violation.

15.20.090. Remedies and Enforcement

Any violation of the provisions of this Title shall be subject to the enforcement remedies and penalties provided by this Chapter and by Utah law, including any of the following:

- (a) **Void Subdivision.** A subdivision plat recorded without the approvals required under this Title is void.
- (b) **Transfer of Land Voidable.** A transfer of land pursuant to a void subdivision plat is voidable.
- (c) **Withhold Permit.** The City may deny or withhold all permits, certificates, or other forms of authorization pertaining to any land or improvements when an uncorrected violation exists pursuant to this Title or to a condition or qualification of a permit, certificate, approval or other authorization previously granted by the City Council, Planning Commission, Board of Adjustment, or other City officer. The City may, instead of withholding or denying an authorization, grant such authorization subject to the condition that the violation be corrected. The provisions of this subsection shall apply regardless of whether the original applicant or owner or current applicant or owner is responsible for the violation in question.

(d) **Revoke Permit.** Any permit may be revoked by the Zoning Administrator when the Administrator determines the permit was procured by false representation or was issued by mistake.

(1) When a permit is revoked hereunder for false representation or mistake, a notice of a revocation shall be in writing and may be served upon the owner, the owner's agent or contractor, or upon any person employed at the site of the subdivision, building, or structure for which such permit was issued. A notice of revocation shall be posted in a prominent location; and, thereafter, no such construction shall proceed under such permit.

(2) When plans conflict with applicable requirements, in lieu of revoking a permit, such plans may be modified to conform to applicable requirements as determined by the Zoning Administrator.

(3) When a mistake has been made calculating the fee for any permit, the proper fee shall be assessed and paid by the permit holder within 10 days of notification.

(e) **Stop Work.** In accordance with its power to stop work under the Construction Codes, the City may stop work, with or without revoking permits, on any building or structure where there exists an uncorrected violation of a provision of this Title, a permit, or other form of authorization issued hereunder.

(f) **Revoke Plan or Other Approval.** When a violation of this Title involves failure to comply with approved plans or a condition upon which plan approval was subject, the original authorizing or approving body may, after 10 days' notice to the applicant and other known parties in interest (including any holders of building permits affected) and after a hearing:

(1) Revoke the plan or other approval; or

(2) Condition its continuance on strict compliance, the provision of security, or such other conditions as the Zoning Administrator may reasonably impose.

(g) **Injunctive Relief.** The City may seek an injunction or other equitable relief in the district court to stop, prevent, or enjoin any violation of this Title, or a permit, certificate, or other form of authorization granted hereunder.

(h) **Abatement.** The City may seek a court order from the district court in the nature of mandamus, abatement, or other action or proceeding to abate or remove a violation or to otherwise restore the premises in question to the condition which existed prior to the violation.

(i) **Other Remedies.** The City shall have such other remedies as are and as may be from time to time provided by Utah law or City ordinance for the violation of any provision of this Title.

(k) **Remedies Cumulative.** These remedies shall be cumulative.

15.20.100. Penalty

Pursuant to Utah Code 10-9a-801, a violation of any provision of this Title is punishable either:

(a) As a class C misdemeanor upon conviction; or

(b) By imposing a civil penalty as provided in CMC 15.20.110.

15.20.110. Nonconforming Use as Affirmative Defense.

It shall be an affirmative defense to the enforcement of the provisions of this Title that the action complained of is a legally nonconforming lot, structure, use, or other nonconformity as governed by the provisions of CZC 12.22 (Nonconformities).

15.20.120. Complaint Procedures.

Complaint procedures for complaints regarding an alleged violation of this Title shall be handled in accordance with the complaint procedures set forth in the Zoning Code at CZC 12.23 (Enforcement). Any reference in the complaint procedure provisions of CZC 12.23 (Enforcement) shall be read to include reference to violations of this Title.

15.20.130. Enforcement Procedures.

Enforcement procedures for alleged violations of this Title shall be handled in accordance with the enforcement procedures set forth in the Zoning Code at CZC 12.23 (Enforcement). Any reference in the enforcement procedure provisions of CZC 12.23 (Enforcement) shall be read to include reference to violations of this Title.

15.20.140. Civil Penalty Procedures.

Civil penalty procedures for violations of this Title shall be handled in accordance with the civil penalty procedures set forth in the Zoning Code at CZC 12.23 (Enforcement). Any reference in the civil penalty procedure provisions of CZC 12.23 (Enforcement) shall be read to include reference to violations of this Title.

15.20.150. Criminal Penalty Procedures.

Criminal penalty procedures for violations of this Title shall be handled in accordance with the criminal penalty procedures set forth in the Zoning Code at CZC 12.23 (Enforcement). Any reference in the criminal penalty procedure provisions of CZC 12.23 (Enforcement) shall be read to include reference to violations of this Title.

15.20.160. Other Enforcement Matters.

(a) Inspection of Buildings, Structures, and Land Uses. The Zoning Administrator, or authorized designee, is authorized to inspect land, buildings, and structures in the course of construction, modification, or repair and to inspect land uses to determine compliance with the provisions of this Title.

(b) Right of Entry. The Zoning Administrator, or authorized designee, shall have the right to enter any land or building for the purpose of determining compliance with the provisions of this Title. Such right of entry shall be exercised only at a reasonable hour. In no case shall entry be made to any building in the absence of the owner or tenant thereof without consent of the owner or tenant, or a written order from the court of competent jurisdiction.

(c) Interference with Enforcement Personnel. It shall be unlawful for any person to interfere with lawful enforcement activities of authorized City personnel.

(d) Other Powers. In addition to the enforcement powers specified in this Chapter, the City may exercise any and all enforcement powers granted to it by Utah law, as may be amended from time to time.

(e) Continuation. Nothing in this Title shall prohibit the continuation of previous enforcement actions, undertaken by the City pursuant to previous and valid resolutions, ordinances, and laws

(f) Selection of Remedy. Except as otherwise restricted by law, the City shall have sole discretion in deciding whether to pursue a criminal or civil enforcement action for the violation of any ordinances or applicable code requirements. The provisions of this Chapter shall not be construed to limit the City's right to prosecute any violation as a criminal offense; provided, the City may not impose a civil penalty for a civil violation that occurs in conjunction with another criminal episode that will be prosecuted in a criminal proceeding.

(g) Essential Governmental Function. By establishing performance standards or by establishing obligations to act, it is the intent of the City Council that City employees and officers are exercising discretionary authority in pursuit of an essential governmental function and that any such

standards or obligations shall not be construed as creating a ministerial duty for purposes of tort liability.

15.20.170. Appeal.

Except as otherwise provided herein for criminal or civil proceedings regarding enforcement actions, any person adversely affected by a final decision of the Zoning Administrator enforcing the provisions of this Title may appeal that decision to the Board of Adjustment as provided in CZC 12.21.200.

CENTERVILLE

Staff Backup Report

12/11/2019

Item No. 5.

Short Title: 2020 Planning Commission Meeting Schedule

Initiated By:

Scheduled Time:

SUBJECT

Discuss the 2020 Planning Commission Meeting Agenda per Utah Code 52-4-202(a).

RECOMMENDATION

Review and approve the proposed 2020 Planning Commission Meeting Schedule.

BACKGROUND

As required by Utah Code 52-4-202(2), "a public body which holds regular meetings that are scheduled in advance over the course of a year shall give public notice at least once each year of its annual meeting schedule."

ATTACHMENTS:

Description

- ▢ 2020 Planning Commission Meeting Schedule



Centerville City Planning Commission 2020 Meeting Schedule

Meetings of the Centerville City Planning Commission are generally held at 7:00 p.m. on the second and fourth Wednesday of each month (except in the months of November and December, where usually only one meeting will be held on the second Wednesday, and when otherwise noted). Unless, otherwise determined by the Planning Commission, all meetings are held in the Centerville City Hall Building, Council Chambers, 250 North Main Street, Centerville, Utah.

The meeting schedule for 2020 shall be as follows:

January 8, 2019	January 22, 2019
February 12, 2019	February 26, 2019
March 11, 2019	March 25, 2019
April 8, 2019	April 22, 2019
May 13, 2019	May 27, 2019
June 10, 2019	June 24, 2019
July 8, 2019	July 22, 2019
August 12, 2019	August 26, 2019
September 9, 2019	September 23, 2019
October 14, 2019	October 28, 2019
<u>November 11, 2019*</u>	
December 9, 2019	

* November 11 is Veterans Day and City Offices are closed. The meeting has been moved to Tuesday, November 10, 2019.

CENTERVILLE

Staff Backup Report

12/11/2019

Item No. 6.

Short Title: Community Development Director's Report and City Council Report

Initiated By:

Scheduled Time:

SUBJECT

Next Planning Commission Meeting:

- January 8, 2020
- Enjoy the Holiday Season

City Council Report:

- **Adopted** Text Amendment for SCP Zone for Equipment Rental & Sales
- **Tabled** Devore Property Rezone from A-L to R-L
- **Approved** RDA Amendment - Allowing a Bank Use on the Island Parcel (former Iggy's building)

RECOMMENDATION

BACKGROUND

CENTERVILLE

Staff Backup Report 12/11/2019

Item No.

Short Title: November 13, 2019

Initiated By:

Scheduled Time:

SUBJECT

RECOMMENDATION

BACKGROUND

ATTACHMENTS:

Description

- November 13 Planning Commission Meeting

PLANNING COMMISSION MINUTES OF MEETING
Wednesday, November 13, 2019
7:00 p.m.

A quorum being present at Centerville City Hall, 250 North Main Street, Centerville, Utah. The meeting of the Centerville City Planning Commission was called to order at 7:00 p.m.

MEMBERS PRESENT

Kevin Daly, Vice Chair
Cheylynn Hayman, Chair
Thomas Hunt
Logan Johnson
Isaac Workman

MEMBER ABSENT

Becki Wright

STAFF PRESENT

Cory Snyder, Community Development Director
Lisa Romney, City Attorney
Mackenzie Wood, Assistant Planner
Katie Rust, Recording Secretary

PLEDGE OF ALLEGIANCE

OPENING COMMENT/LEGISLATIVE PRAYER Commissioner Hunt

**PUBLIC HEARING – LEGISLATIVE DECISION – DEVORE PROPERTY REZONE
FROM AGRICULTURE-LOW TO RESIDENTIAL-LOW**

The applicant has requested a rezone of the subject properties from Agricultural-Low (A-L) to Residential-Low (R-L). Mackenzie Wood, Assistant Planner, explained that Staff finds the proposed amendment to be consistent with the goals, objectives and policies of the General Plan, and harmonious with the overall character of existing development in the vicinity. She stated Staff recommends the rezone. Cory Snyder, Community Development Director, commented that the General Plan for the subject neighborhood preserved A-L for the owners at that point, with the intent to rezone to R-L over time.

Russ Wilson with Symphony Homes, applicant, stated the lots on the west portion of the property would be consistent in size with lots in the neighboring Lexington Park development (approximately quarter acre), and the lots on the east portion of the property would be larger and more consistent with lot sizes around Main Street (approximately one-third acre), with around 60 lots total. Mr. Wilson said Symphony Homes believes the requested rezone is consistent with the goals and objectives of the City's General Plan. He estimated the homes would range in price from \$500,000 on the west portion to around \$1 million on the east portion.

Chair Hayman opened a public hearing at 7:13 p.m.

Mila Cutler – Ms. Cutler asked how far 400 West would be extended.

Abe Millet – Mr. Millet said his property is adjacent to the subject property and is currently accessed directly off Frontage Road, which has been a bigger safety issue than he had anticipated. He asked if it would be possible to include access to his property through the proposed development.

1 Ralph Cutler – Mr. Cutler said drainage issues will need to be addressed better than
2 they were addressed for the Woods Park development. He stated the drainage would need to
3 be engineered.
4

5 Cindy Garlick – Ms. Garlick stated the drainage issue at Woods Park is deplorable. She
6 said her property is adjacent to the Woods Park Subdivision, and she deals with drainage for
7 the entire Subdivision on her property. She stated drainage issues need to be resolved for the
8 proposed development at the beginning so that existing residents do not have to deal with the
9 additional burden.
10

11 Lisa Fowers – Ms. Fowers said her property is on 400 West. She stated she already
12 deals with water issues without the proposed development, and emphasized that drainage for
13 the proposed development needs to be adequately addressed.
14

15 Jen Bangerter – Ms. Bangerter asked if impact reports have been done or will be
16 required.
17

18 Allison Garlick – Ms. Garlick said she knows there have been development plans in the
19 past that have dramatically changed from the original proposal to the end product. She asked if
20 the proposed plan is solid, or if it could dramatically change.
21

22 Ben Seelos – Mr. Seelos said he is concerned about traffic flow with the proposed
23 development near an elementary school, and with 400 West being a long-time dead end. He
24 asked how long construction traffic would be coming through the neighborhood. Mr. Seelos said
25 he has significant concerns about drainage. He said a lot of promises were made and backed
26 out of regarding drainage with the Lexington Park development, which was also done by
27 Symphony Homes.
28

29 Kellie Lowe – Ms. Lowe said her property backs the subject property. She said there are
30 often ponds and small lakes on the subject property, and asked if the subject property is
31 protected wetland and if it is suitable for development.
32

33 Chris Cutler – Mr. Cutler asked if there are plans to take care of the herd of deer that live
34 on the subject property.
35

36 Troy Pectol – Mr. Pectol stated he is opposed to changing the zoning of the subject
37 property.
38

39 Cole Smith – Mr. Smith agreed with the drainage concerns that had been expressed. He
40 asked that the City consider assigning a crossing guard for the 2025 North/400 West
41 intersection. He said it is dangerous now, and would only get more dangerous with the addition
42 of 60 homes to the neighborhood.
43

44 Julie Holyoak – Ms. Holyoak said the traffic in the neighborhood is outrageous, and
45 would only get worse with the addition of 60 homes. She stated she lives on 2025 North. Ms.
46 Holyoak said a child was hit by a vehicle in front of her home, and she hopes the developers will
47 seriously think about safety.
48

49 Chair Hayman closed the public hearing at 7:25 p.m.
50

51 Mr. Snyder stated there are adequate facilities to service the proposed development. He
52 commented that the addition of a crossing guard is an issue for the City Council to consider.
53 The whole area has a significantly high water table. The City Engineer's report regarding

1 drainage issues at Woods Park is available from the City Recorder. Mr. Snyder explained that
2 the Woods Park Subdivision interrupts drainage from the east. The proposed development
3 would extend from Main Street to the Frontage Road, providing a greater possibility of
4 adequately handling drainage issues. Mr. Snyder said the Public Works Director has reported
5 that canals in the area are often plugged. Addressing the canal problem would likely improve
6 the drainage issues. Mr. Snyder confirmed that soil studies would be required. He explained that
7 400 West is master planned to eventually extend all the way to Lund Lane. The Centerville
8 Police Department is managing urban deer control efforts.

9
10 Mr. Wilson stated that Symphony Homes is in the process of having the soils tested. He
11 acknowledged that a lot of engineering will be needed for the drainage studies and plans,
12 particularly for the western half of the property. Mr. Wilson stated that surface and subsurface
13 drains will be installed to handle the drainage. He said he suspects the entire property will be
14 developed in one phase with the two different product offerings. Mr. Wilson said he anticipates a
15 traffic study will be done.

16
17 Mr. Snyder explained that bonding would be required for the subdivision as a whole
18 when construction ties into public infrastructure. Commissioner Hunt said he understands the
19 drainage concerns, and commented that the State has increased control over how drainage is
20 handled for any type of development. Commissioner Hunt said he believes the traffic concerns
21 will be more difficult to mitigate than the drainage concerns.

22
23 Commissioner Daly commented that fewer units would be allowed if the zoning
24 remained A-L. However, he pointed out that fewer units would not necessarily mean better
25 drainage because the same type of roads and curb and gutter would be required. Mr. Snyder
26 responded that increased yard space would allow more natural seeping, but agreed that much
27 of the issue would be the same.

28
29 Commissioner Johnson mentioned that many of the concerns that were raised during
30 the public hearing will be addressed later in the development process, and said he is inclined to
31 approve the requested rezone. Commissioner Daly said he is hopeful that the applicant will
32 seriously consider the comments and concerns expressed going forward. He encouraged the
33 public to continue attending throughout the process, and said he is inclined to support the
34 rezone. Commissioner Workman agreed with Commissioner Daly, and said he believes the
35 requested rezone is consistent with the General Plan.

36
37 Commissioner Johnson made a **motion** to accept the Zone Map Amendment for the
38 properties located at 2125 North Main Street from Agricultural-Low (A-L) to Residential-Low (R-
39 L), and to recommend approval to the City Council, with the following three reasons for the
40 action. Commissioner Daly seconded the motion, which passed by unanimous vote (5-0).

41
42 Reasons for the Action:

- 43
44 1. The proposed amendment meets the requirements found in Section 12-21-080(4)(e).
45 2. The proposed Zone Map Amendment meets the goals and objectives of the General
46 Plan concerning Neighborhood 4 [Section 12-480-5].
47 3. Adequate facilities are located within the subject property along Lund Lane [Section
48 12-21-080(e)(5)].

**PUBLIC HEARING – ADMINISTRATIVE DECISION – DAVE’S COMPLETE AUTO –
CONCEPTUAL SITE PLAN AMENDMENT**

Mr. Snyder explained that the applicant desires to enlarge and expand an existing site for the purposes of expanding the business operation (Dave’s Complete Auto) by adding additional building space, parking, and landscaping involving the existing site and an additional tract, located adjacent to the east, that was added to the site as part of a 2018 request. The proposed changes would increase the building area by more than 30%, requiring that all non-conformities be brought into conformance. The side setback on the north side of the building is three feet, which does not comply with the eight-foot standard. For the proposed addition, there are two options for the applicant to consider. The first option is for the building expansion to be relocated/reduced to meet the required eight-foot side yard setback along the north boundary. The second option would require the applicant to make a request to the Board of Adjustment to determine if the expansion can meet the requirements of CZC 12.22.060.c.

As part of the site plan application, the applicant is seeking a “modification” to the required number of parking stalls. The applicant submitted an independent parking study to the City Engineer that found that a minimum of 23 parking stalls are needed. The City Engineer reviewed the study and made comparisons using the Parking Generation Manual, with findings that indicate a potential peak daily demand ranging from 23 to 35 parking stalls. Mr. Snyder said Planning Staff remains concerned that an increase in building size and a reduction in parking would substantially affect the capacity to accommodate parking if and when a new user may take over the site. However, Staff also recognizes that as long as the site is used for vehicle repair, the number of parking stalls that would be required by code (80 stalls) may be more than needed. Mr. Snyder said he would prefer to reasonably maximize the parking, and recommended the Planning Commission table the parking issue to allow further consideration and possible reconfiguration. Lisa Romney, City Attorney, commented that the City does not typically include parking inside structures, such as inside a repair bay, toward parking counts.

Dave Bell, applicant, said he believes it is legitimate to count vehicles parked inside a repair bay toward the number of parking stalls, and said he thinks 80 stalls is excessive. He said his business has changed over the years, and provided data showing annual revenue and number of vehicles serviced. Mr. Bell said he needs the expansion to meet the demand of his repair business. He said he believes the property has sufficient buffering without the required landscape buffer at the back of the property, and suggested that a lot of landscaping does not make sense on the inside of an impound yard. Mr. Bell said he intends to petition the Board of Adjustment regarding the building side setback.

Commissioner Johnson said he does not believe the building materials used (metal versus cement block) would have a significant visual impact as long as the colors match. The proposed expansion would not be highly visible from I-15. Chair Hayman agreed.

Chair Hayman opened a public hearing at 8:38 p.m., and closed the public hearing seeing that no one wished to comment. Commissioner Daly asked if the applicant has considered requesting a waiver of strict compliance for landscaping, and suggested such a waiver might make sense in this situation. Commissioner Hunt agreed that a 30-foot landscaping buffer does not seem necessary in this situation. Mr. Snyder said Staff can look at whether the proposed expansion would be eligible.

Chair Hayman made a **motion** for the Planning Commission to accept the conceptual site plan for the proposed changes to the site of Dave’s Complete Auto, located at 335 South Frontage Road, with directives (1)-(4) and reasons for the action (a)-(c). Commissioner Hunt seconded the motion, which passed by unanimous vote (5-0).

Directives:

1. The applicant shall submit a final site plan application meeting the standards found in CZC 12.21.110.e of the Zoning Ordinance.
2. The building expansion to be relocated/reduced to meet the required eight-foot (8') side yard setback along the north boundary or the applicant shall make a request to the Board of Adjustment and obtain an approval that meets the requirements of CZC 12.22.060.c of the Zoning Ordinance.
3. The final site plan submittal shall also address the following:
 - a. Provide a landscaping plan that addresses the following:
 - i. Provide the total on-site tree requirements
 - ii. Provide the required Street Frontage Trees
 - iii. Provide the required 50% building foundation landscaping
 - iv. Plan to be designed and prepared by a certified Landscape Architect
 - b. An updated site plan that addresses the following:
 - i. The screening of any utility service facilities from public street view
 - ii. The installation of required sidewalk along the Frontage Road
 - iii. The parking stall conflict along the east buffer area with the new building's overhead door system
 - iv. Reconfigure or convert the angled parking into 90-degree stalls to match the others shown further east on the site and provide an internal parking island to define the parking row
 - v. Provide a drainage plan that is deemed acceptable to the City Engineer
 - vi. The architectural design of the building is to address the enhanced design expectations along the Freeway, as described in the associated Neighborhood Plan
4. The request for a "Parking Modification" is being tabled for further review and approval in conjunction with the Final Site Plan submittal to determine the site's actual capacity to provide necessary off-street parking stalls.

Reasons for the Action:

- a) The Planning Commission finds that a conceptual site plan is not intended to permit actual development of property pursuant to such plan but is to be prepared and reviewed merely to represent how the property could be developed in accordance with applicable regulations.
- b) The Planning Commission finds that, with to the stated directives, the applicant is equipped sufficiently to proceed with a submittal of a Final Site Plan Application.
- c) The Planning Commission finds that all existing sites with non-conformities with regards to site landscaping, screening, or other issues, shall be brought into conformance upon occurrence of any increase more than 30% of the building floor area, as described in CZC 12.22.080 of the Zoning Ordinance.

**PUBLIC HEARING – LEGISLATIVE DECISION – PARRISH CREEK PDO REZONE
WITH CONCEPTUAL SITE PLAN AMENDMENT – 1050 N 950 W – PREVIOUSLY TABLED**

The Parrish Creek Development is a developing 16-acre business park, with a campus style layout including acres of wetlands, landscaping, view corridors, and pedestrian paths. Office and warehouse are the proposed primary uses. This was approved as an Industrial-Planned Development Overlay on March 21, 2017. Mr. Snyder explained that the petitioners desire to alter or eliminate certain portions of the approved project's original pedestrian pathway

1 design scheme. Mr. Snyder said he is concerned that eliminating the pathways, even for
2 practical reasons, and moving forward with development is not the right approach. He said he
3 believes the development would be better served continuing with the idea of improving
4 something within the development from a design standpoint. Mr. Snyder suggested that if the
5 original pedestrian pathways are not practical, perhaps the development could contribute to
6 improved drainage. He suggested that discussions with the Army Corps of Engineers regarding
7 wetlands would be necessary.
8

9 Ken Stuart, representing the applicant, reported that Hogan Construction was not willing
10 to grant access to the subject property through the Hogan property. He said the applicant wants
11 a high-quality top-notch facility, and is willing to work with the City in any capacity to make it
12 work. Mr. Stuart said he would like to sit down with the City Engineer and Planning Staff to find
13 a reasonable solution.
14

15 Chair Hayman opened a public hearing at 9:10 p.m., and closed the public hearing
16 seeing that no one wished to comment. Chair Hayman made a **motion** to table action regarding
17 the proposed pedestrian pathway amendments, as submitted by the applicant, and direct the
18 applicant to consider the following directive. Commissioner Hunt seconded the motion, which
19 passed by unanimous vote (5-0).
20

21 Directive:
22

23 In lieu of providing the expected pathways, have a discussion with the City's RDA and
24 City Engineer to consider the possibility of a "Wetlands Enhancement Plan" within the
25 Development and discuss with the City's RDA the feasibility of tax increment assistance
26 funding coupled with the costs associated with the eliminated pathways to implement the
27 plan.
28

29 The Commission took a break at 9:13 p.m., and returned at 9:20 p.m.
30

31 **PUBLIC HEARING – LEGISLATIVE DECISION – GENERAL PLAN AMENDMENTS –**
32 **MODERATE INCOME HOUSING**
33

34 Senate Bill 34 of 2019 required municipalities to adopt or update their Moderate-Income
35 Housing (MIH) Elements by December 1, 2019. Staff believes that the adopted MIH Element of
36 the City's General Plan generally complies with most of the State's expectations regarding
37 planning for moderate income housing. However, there are a few changes that need to be
38 implemented. Mr. Snyder and Ms. Romney presented amendments recommended by Staff.
39

40 Chair Hayman said she had noticed that the moderate-income housing strategy in
41 Centerville in the last ten years has primarily involved the west side of the City. She suggested
42 the City be open minded about meeting some of the moderate-income housing issues on the
43 east side.
44

45 Chair Hayman opened a public hearing at 9:40 p.m., and closed the public hearing
46 seeing that no one wished to comment. The Commissioners discussed the proposed changes.
47 Commissioner Johnson made a **motion** to recommend to the City Council the drafted
48 Moderate-Income Housing Element as discussed. Commissioner Daly seconded the motion,
49 which passed by unanimous vote (5-0).

SUBDIVISION ORDINANCE UPDATES – CHAPTER 16 (GENERAL SUBDIVISION REQUIREMENTS)

As part of the ongoing process to update City Ordinances, Ms. Romney explained proposed updates regarding general subdivision requirements (Chapter 16), and answered questions from the Planning Commission.

COMMUNITY DEVELOPMENT DIRECTOR'S REPORT & CITY COUNCIL REPORT

The Planning Commission is scheduled to meet next on December 11, 2019. Mr. Snyder updated the Commissioners on recent and upcoming City Council agenda items.

MINUTES REVIEW AND ACCEPTANCE

The minutes of the October 23, 2019 Planning Commission meeting were reviewed. Chair Hayman made a **motion** to accept the minutes. Commissioner Johnson seconded the motion, which passed by unanimous vote (5-0).

ADJOURNMENT

At 9:59 p.m., Chair Hayman made a **motion** to adjourn the meeting. Commissioner Johnson seconded the motion, which passed by unanimous vote (5-0).

Leah Romero, City Recorder

Date Approved

Katie Rust, Recording Secretary