

CENTERVILLE CITY PLANNING COMMISSION AGENDA

NOTICE IS HEREBY GIVEN THAT THE CENTERVILLE CITY PLANNING COMMISSION WILL HOLD ITS REGULAR PUBLIC MEETING AT 7:00 PM ON SEPTEMBER 12, 2018 AT THE CENTERVILLE CITY COMMUNITY CENTER AND CITY HALL COUNCIL CHAMBERS, 250 NORTH MAIN STREET, CENTERVILLE, UTAH. THE AGENDA IS SHOWN BELOW.

Meetings of the City Council of Centerville City may be conducted via electronic means pursuant to Utah Code Ann. 52-4-207, as amended. In such circumstances, contact will be established and maintained via electronic means and the meeting will be conducted pursuant to the Electronic Meetings Policy established by the City Council for electronic meetings.

Centerville City, in compliance with the Americans With Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance, including hearing devices. Persons requesting these accommodations for City-sponsored public meetings, services, programs, or events should call Jacob Smith, Centerville Management Services Director, at 801-295-3477, giving at least 24 hours notice prior to the meeting.

A notebook containing supporting materials for the business agenda items is available for public inspection and review at City Hall and will be available for review at the meeting. The full packet can also be viewed on the City's website: <http://centerville.novusagenda.com/agendapublic>.

Tentative - The times shown below are tentative and are subject to change during the meeting.
Time:

6:00pm - Public Forum with Property Owners of Main Street
7:00pm

6:00 **A. PUBLIC FORUM**

7:00 PM **B. WELCOME AND ROLL CALL**

C. PLEDGE OF ALLEGIANCE

D. PRAYER OR THOUGHT

Gina Hirst, Commissioner

E. COMMISSION BUSINESS

7:10 1. Public Hearing - Zoning Text Amendment CZC 12.54 Signs
LEGISLATIVE DECISION

This matter was previously tabled from the August 22nd meeting. The Planning Commission will consider a proposed Zoning Text Amendment for 12.54 Signs, to allow murals on buildings.

7:30 2. Public Hearing - Request for Fence Height Increase for Renegade Sports at 240 South Frontage Road

ADMINISTRATIVE DECISION

This was originally noticed as a Conditional Use Permit, however, only the proposed fence height increase needs approval and findings from the Planning Commission for the fence at Renegade Sports at 240 South Frontage Road.

- 7:50 3. Public Hearing - Conceptual Subdivision - Legacy Lands at 1243 North 1300 West
ADMINISTRATIVE DECISION
The Planning Commission will consider a proposed Conceptual Subdivision for five
Commercial lots at 1243 North 1300 West, within the Shorelands Commerce Park.
- 8:10 4. Public Meeting - Final Site Plan - Legacy Commons PDO - 1250 West and Parrish
Lane
ADMINISTRATIVE DECISION
Consider the proposed Final Site Plan for Legacy Commons PDO, a mixed use
development project on the northwest corner of 1250 West and Parrish Lane
- 8:30 5. Public Meeting - Final Site Plan - South Davis Metro Fire Station, 300 South Main
Street
ADMINISTRATIVE DECISION
Consider the proposed Final Site Plan for the South Davis Metro Fire Station at
300 South Main Street.
6. Community Development Director's Report
Salt Lake Chamber of Commerce Housing GAP Coalition - October 16th
7. City Council Report

F. MINUTES REVIEW and ACCEPTANCE

August 22, 2018

G. ADJOURNMENT

CENTERVILLE

**Staff Backup Report
9/12/2018**

Item No.

Short Title: Public Forum with Property Owners of Main Street

Initiated By:

Scheduled Time: 6:00pm - 7:00pm

SUBJECT

RECOMMENDATION

BACKGROUND

CENTERVILLE

Staff Backup Report 9/12/2018

Item No. 1.

Short Title: Public Hearing - Zoning Text Amendment CZC 12.54 Signs

Initiated By: Becca Clason, Applicant

Scheduled Time: 7:10

SUBJECT

LEGISLATIVE DECISION

This matter was previously tabled from the August 22nd meeting. The Planning Commission will consider a proposed Zoning Text Amendment for 12.54 Signs, to allow murals on buildings.

RECOMMENDATION

Refer to Staff Report

BACKGROUND

Refer to Staff Report

ATTACHMENTS:

Description

- 9-12-18 PC Staff Report Text Amendment Signs Murals
- 9-12-18 Murals Backup Material

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 1**

APPLICANT: **BECCA CLASON**
1212 N WINSTON DRIVE, KAYSVILLE
BECCACLASON@GMAIL.COM

APPLICATION: **TEXT AMENDMENT – 12.54 SIGNS TO ALLOW MURALS**

STAFF RECOMMENDATION: **RECOMMEND APPROVAL TO CITY COUNCIL,
AS MODIFIED BY STAFF**

Background

Ms. Becca Clason owns a graphic design and marketing company that operates out of an office at 12 North Main. The building is a Local Significant Site and has been painted white. The applicant wishes to enliven this wall space by painting an inspirational mural on the side of the building, but under our current zoning code, murals would fall under the definition of a sign, as a “large display directing attention to a business”, and would fall under our sign code regulations, limiting the mural to 15% of the wall.

Many other cities in Utah have a strong presence of murals in their streetscape, including Ogden, Provo, South Salt Lake, and Salt Lake City. [See backup materials for many examples of murals around the Wasatch Front.] Most of these cities do not regulate murals in any capacity, as they are considered art and protected under First Amendment rights of free speech. In these cities, the property owner has the right to petition any work of art for their building with a non-commercial message.

The applicant’s specific desire is for an inspirational message on the side of her already white painted building.



Figure 2 The applicant's office at 12 N Main



Figure 1 An example of work by local artist Jill de Haan

CZC SIGN CODE

Definition of Signs: CZC 12.12.

Sign: Any object, device, display, or structure, or a part thereof, which is used to advertise, identify, display, direct or attract attention to an object, person, institution, organization, business, product, service, event or location by any means, including words, letters, figures, designs, symbols, fixtures, colors, illumination, or a projected image, but not including the lawful display of merchandise, approved artificial landscaping, or approved structures which are lighted for the purpose of providing illumination to parking areas, sidewalks or streets. The term “sign” shall include the sign structure, supports, lighting system and any attachments, ornaments or other features used to attract attention.

Sign, Wall: A sign displayed upon or against the wall of a building, where the exposed face of the sign is parallel to the wall and extends not more than 15 inches horizontally from the face of the wall.

Applicant proposed definition and limitations:

- 1) Mural: A hand-painted design on the exterior wall of a building that does not contain a commercial message
- 2) Mural can be changed or removed at five years if community does not find it desirable in their area, but if the mural is accepted and enjoyed the mural can stay on the building
- 3) Size restriction is that it takes up to no more than 50% of the wall space
- 4) Murals will only be allowed in the South Main Street Corridor Zone
- 5) Murals cannot be painted on a historic building unless that building has already been painted

APPROVAL STANDARDS FOR ZONING CODE AMENDMENTS

A decision to amend the Zoning Code or the Zoning Map is a matter within the legislative discretion of the City Council as described in CZC 12.21.060(a). In making an amendment, the following factors should be considered:

1. Whether the proposed Zoning Code or Zoning Map amendment is consistent with goals, objectives and policies of the General Plan;

General Plan

12-430-2

Main Street commercial area. The area on Main Street between 400 South (Porter Lane) and 400 North (Parrish Lane) has been regarded as the

traditional commercial center of Centerville, though in reality it never became a strong focal point. The Main Street commercial area is old now and somewhat deteriorating, though a few new buildings have been constructed here in recent years. Restoration or revitalization should be encouraged.

South Main Street Overlay Plan

12-480-7

Growth and revitalization efforts or strategies ought to encourage infill and redevelopment in balance with the community's desire to highlight Centerville's Main Street. The South Main Street Corridor can and will thrive if included in the design framework of this area is a scheme that provides various alternatives to purely an automobile-oriented street. Pedestrian-friendly amenities, alternative forms of transportation, proper architectural and building design, and other similar concepts need to be considered in designing the South Main Street South Corridor District. Redevelopment and enhancements need to focus on such concepts to create a stronger, more vibrant, Main Street environment.

Staff Analysis:

Murals and artwork are considered tools for revitalizing and beautifying a neighborhood that not only foster a sense of community but also improve the streetscape for pedestrians and customers of these businesses. Murals contribute to revitalization, enhancements, and the creation of a more "vibrant" Main Street environment, and therefore align with the General Plan for the Main Street commercial area and Overlay Plan.

Murals can be a great tool for placemaking and community identity, activating otherwise underused or dead spaces in the city. It adds interest to the streetscape, making it more enjoyable and interesting for pedestrians and customers of these businesses. For example, South Salt Lake's Arts Council recently promoted a Mural Fest for small businesses within their arts district. The businesses owners love their commissioned art and some stated that it has increased business due to the attention the murals have received. It makes their building recognizable and makes those who walk or drive by curious about the businesses inside, benefiting not only the public but the business owners bottom line.

As the Commission and the Council continue to deliberate how to revitalize Main Street, allowing business owners to activate their own space by allowing their right to creative expression and artwork on their building may progress the revitalization efforts on this corridor.

Because of the request of the applicant, the focus on revitalizing Main Street at the City level, and the small scale of the local businesses in this zone, staff believes that the Commercial Medium zone is an acceptable place to allow murals on commercial buildings. Size and height

limitations in this zone ensure the building are smaller and to scale with the surrounding environment. From our studies, we know that most businesses are locally owned. Creating local works of art on small store front would enliven the streetscape of this corridor and foster a sense of community in this small business zone.

Staff Recommendations (*Two Options*)

I hereby make a motion for the Planning Commission to recommend approval to the City Council for the amendments to CZC 12.54 as follows:

MOTION ONE OPTION – To recommend the zone text amendment with the language as submitted by the applicant:

12.54.060 (m)

- a) A hand-painted design on the exterior wall of a building that does not contain a commercial message*
- b) Mural can be changed or removed at five years if community does not find it desirable in their area, but if the mural is accepted and enjoyed the mural can stay on the building*
- c) Size restriction is that it takes up to no more than 50% of the wall space*
- d) Murals will only be allowed in the South Main Street Corridor Zone*
- e) Murals cannot be painted on a historic building unless that building has already been painted*

MOTION TWO OPTION – To recommend the zone text amendment with the language as amended by Staff.

12.54.060

Sign area calculations shall include all signs located on a lot or parcel unless under the provisions of this Chapter or another chapter of this Title a particular type of sign:

- A. Is expressly excluded from the calculation of total sign area; or*
- B. Has a separate basis for calculating sign area; or*
- C. Is not regulated by the provisions of this Chapter.*
- D. Except Murals See 12.54.060 (m).*

ADD Subsection (m) The Zoning Administrator shall approve a mural under the following provisions:

- 1. A mural is recognized as a one of a kind, hand painted, hand tiled or digitally printed image on the exterior wall of a building that does not contain any commercial message.*
- 2. Murals shall be allowed on commercial buildings located within the Commercial Medium zone*
- 3. Murals shall contain no commercial message, including logos, trademarks, or company slogans, or any obscene message or images.*

4. *Murals may not be painted on buildings that are on the National Register of Historic Places*
5. *Murals must receive a permit as set forth in 12.21.160*
6. *Applicant must submit proof of the property owner's approval and permission*

FINDINGS:

- a) *Allowing murals is consistent with the General Plan for the Main Street Commercial area. [12-430-2 and 12-480-7]*
- b) *The purpose of our sign code is to improve the visual appearance of the City in a way that is consistent with Constitutional guarantees and the City's goals of public safety and aesthetics. [12.54.010]*
- c) *Allowing murals on commercial building is not inconsistent with the purpose of the Commercial Medium Zone. [12.30.020]*

Centerville Mural Definition and Goals

Our Goal and Vision

The purpose of bringing murals to Centerville is to add art and interest into public spaces. This allows spaces that are otherwise neglected or void of character to be more comfortable and walkable. Murals have the potential to create places of gathering, share the cities culture, and create a stronger community and sense of history.

For our own personal mural on the historic ZCMI building on Main and Center street we want to create interest and inspiration to a wall that is very visible. Our line of work is to create videos/images/art that create wonder and inspiration. We see the positivity and fun this brings to our viewers and would like to share those same feelings with our own community.

Proposed Mural Definition and Limitations:

- A hand-painted design on the exterior wall of a building that does not contain a commercial message.
- Mural can be changed or removed at five years if community does not find it desirable in their area, but if the mural is accepted and enjoyed, the mural can stay on the building.
- Size restriction is that it can take up to no more than 50% of the wall space.
- Murals will only be allowed in the South Main Street Corridor Zone.
- Murals cannot be painted on a historical building unless that building has already been painted.
- Murals could be written into the city laws as exempt from sign regulations.

In Salt Lake City, murals are written as exempt from sign regulations like this:

21A.46.040: EXEMPT SIGNS

The following signs and sign related activities are exempt from all regulations in this chapter, subject to the following provisions:

(...)

M. Murals: All or any portion of painted artwork which would not constitute a sign under this chapter.

In an excerpt from an article printed in the Salt Lake Tribune in 2015, Nick Norris, Salt Lake City planning manager, stated, " The ordinance—which exempts murals from the city sign regulations—has been in place for more than a decade, and Norris said he's unaware of any enforcement problems that have arisen."

MAKING A CASE FOR MURALS

The Los Angeles Mural Ordinance defines an Original Art Mural as:

**“A one-of-a-kind, hand-painted, hand-tiled,
or digitally printed image on the
exterior wall of a building that does not
contain any commercial message.”**

Having been in our office building for a few months now on the corner of Main Street and Center Street, we noticed how visible the building's wall is, with plenty of foot traffic and a busy road next to us. We love the community we work in and would like to give back in a way that we feel will benefit and uplift those who live and work near us, as well as those passing by throughout the day. We feel we can accomplish this through a beautiful and inspirational mural.

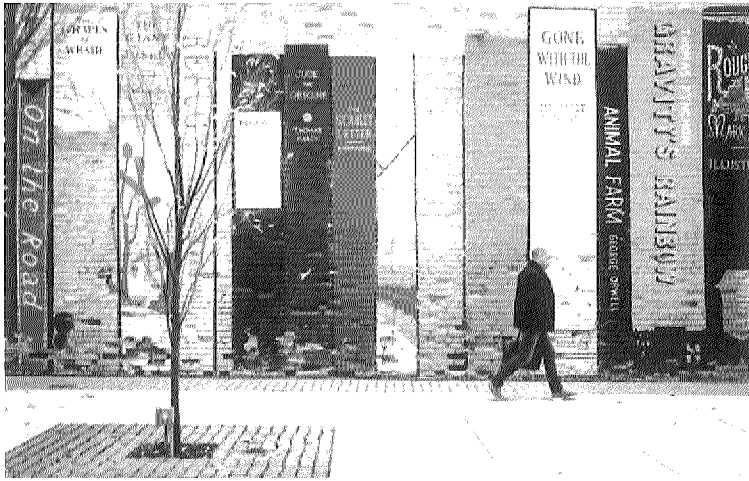
Portland Street Art Alliance has listed reasons why murals help to bring a community together, we've listed them below, because we feel murals can benefit Centerville as well:

- Murals improve the quality of public space for everyone to enjoy.
- Murals create a unique sense of place and community identity.
- Murals support the local economy, especially if the muralist is a local artist.
- Murals foster neighborhood pride, build neighborhood identity, and are respected by neighbors.

Another reason murals are beneficial to cities, is because adding them to cities has succeeded in lessening the chances of graffiti. In the particular spot where we envision the mural being painted there are signs of graffiti that has since been painted over. Hopefully with the mural in place that won't happen again.

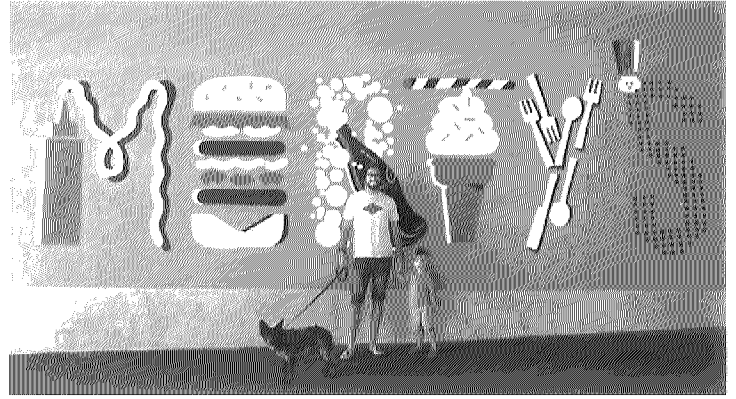
There are many cities in Utah that allow and enjoy murals in their community. On the following pages, we have included a list along with images of the murals in Utah that have become iconic and loved by the community in which they reside.

SALT LAKE CITY, UTAH

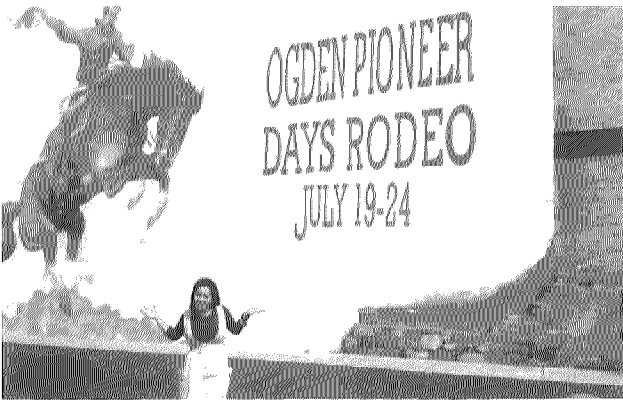


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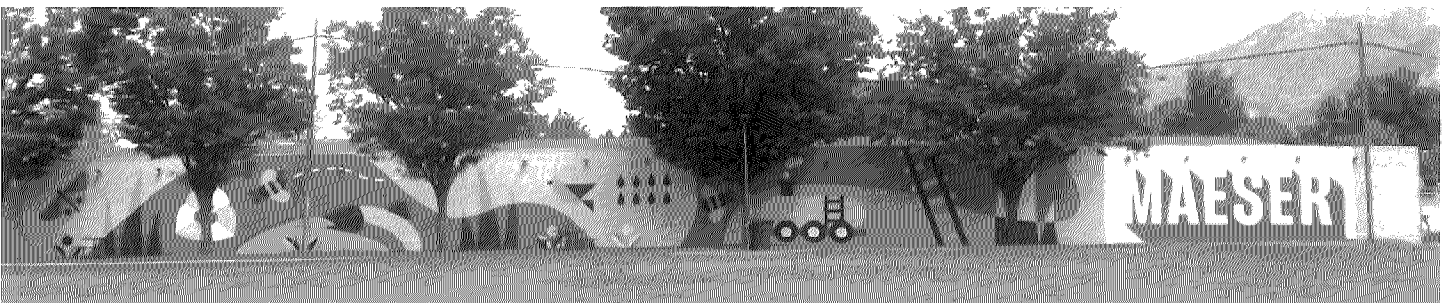
LOGAN, UTAH



OGDEN, UTAH

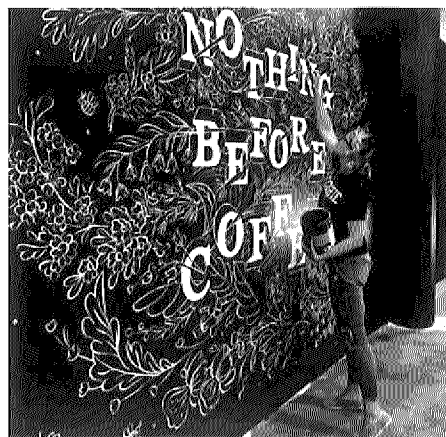
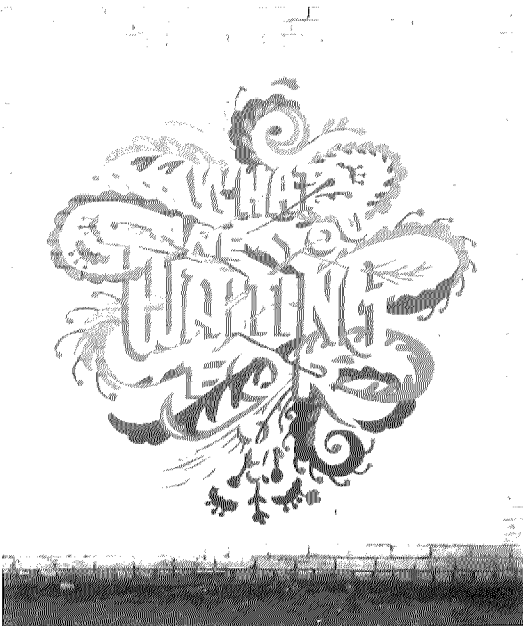
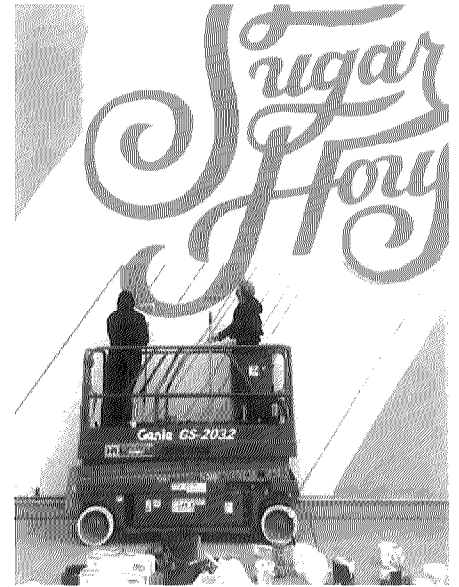
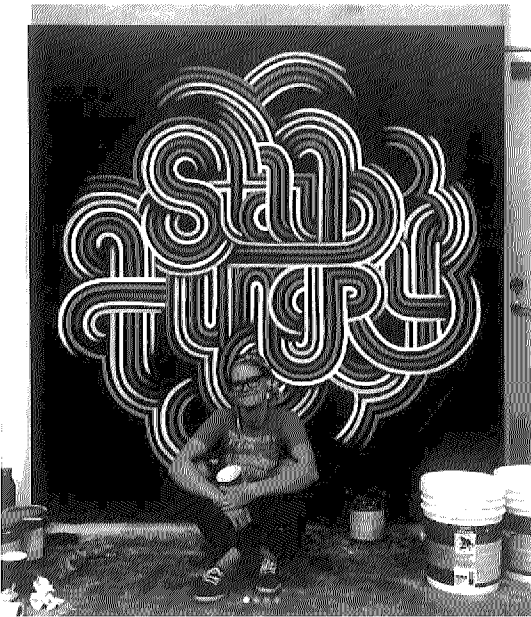


PROVO, UTAH



JILL DE HAAN

These are examples of work done by local lettering artist and muralist, Jill Dehaan.
She is the mural artist we hire to create the mural on our building.



**CENTERVILLE
PLANNING COMMISSION
Staff Backup Report
9/12/2018**

Item No. 2.

Short Title: Public Hearing - Request for Fence Height Increase for Renegade Sports at 240 South Frontage Road

Initiated By: Richard Gladfelder, Applicant

Scheduled Time: 7:30

SUBJECT

ADMINISTRATIVE DECISION

This was originally noticed as a Conditional Use Permit, however, only the proposed fence height increase needs approval and findings from the Planning Commission for the fence at Renegade Sports at 240 South Frontage Road.

RECOMMENDATION

Refer to Staff Report

BACKGROUND

Refer to Staff Report

ATTACHMENTS:

Description

- ▣ 9-12-18 PC Staff Report Renegade Sports Fence Height
- ▣ 9-12-18 Renegade Amended Site Plan Submittal

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 2**

**PROPERTY OWNER: RICHARD GLADFELDER
 R & S COMMERCIAL PROPERTY LLC**

**APPLICANT: RICHARD GLADFELDER
 RENEGADE RENTALS**

PROPERTY LOCATION: 240 NORTH FRONTAGE ROAD

**PARCEL SIZE: 2.32 ACRES
PARCEL ID NUMBER: 02-026-0068**

ZONING DISTRICT: COMMERCIAL VERY HIGH

APPLICATION: FENCE HEIGHT INCREASE

STAFF RECOMMENDATION: APPROVE WITH CONDITIONS

Background

On August 23, 2018, the Zoning Administrator approved an administrative amended site plan for Renegade Rentals regarding an expansion and an addition of the use “Vehicle and Equipment Rental and Sale”. Upgraded landscaping and screening was required and provided on this amended site plan. As a part of the screening requirements of the property, the applicant desires to go higher than the 6-foot permitted screening fence, due to the change in grades between the adjacent properties. According to Centerville Code, the Planning Commission is the body that must approve this fence height increase and provide findings.



Figure 1 The red line shows roughly where the new fence will be placed on the property

Zoning Code:

CZC 12.55.110 The Planning Commission may approve a fence, wall or similar structure not to exceed 10 feet in a rear area or side yard in the A-M, R-M, R-H, C-M, C-H, C-VH, I-H, I-VH, PF-L, PF-M, PF-H, or PF-VH zones as part of a site plan review, or amended site plan, with the findings by the Planning Commission that is to be a benefit to the surrounding properties and/or help to buffer the use, and is in the City's best interest.

(a)(1) When a **difference in grade exists on either side of a fence or wall**, the height of the fence or wall shall be measured from:

1. The **average elevation of the finished grade of adjoining properties at the fence line**; or
2. If excavated or filled, the native elevation

Proposed fence:

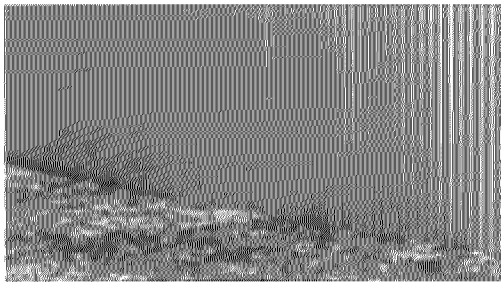
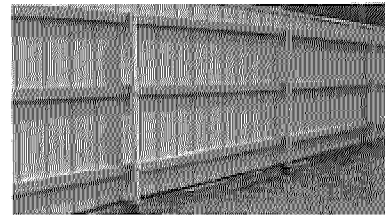
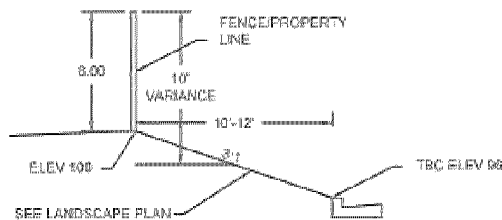
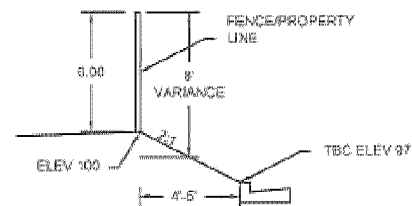
The proposed fence is 6 feet, but because of the grade changes between the surrounding properties, it measures as high as 10' when accounting for the average grade. The fence is galvanized sheeting in order to meet our code that states a screening fence must be opaque:

12.51.110(b) states "Outdoor storage areas permitted by this Title shall be screened from view by an opaque fence or wall. Non-opaque fencing, such as powder or vinyl coated chain-link, may be used to satisfy this requirement in industrial zones if vinyl slats are inserted into the fence."

The surrounding properties around the fence are facing parking lots and drive aisles. No buildings immediately abut the proposed fence area. The opaque screening fence is to visually shield the storage of vehicles and equipment of Renegade Sports. Due to the slope of the property on the property lines, the fence will need this added height in order to screen adequately while maintaining adequate aesthetics for the area.



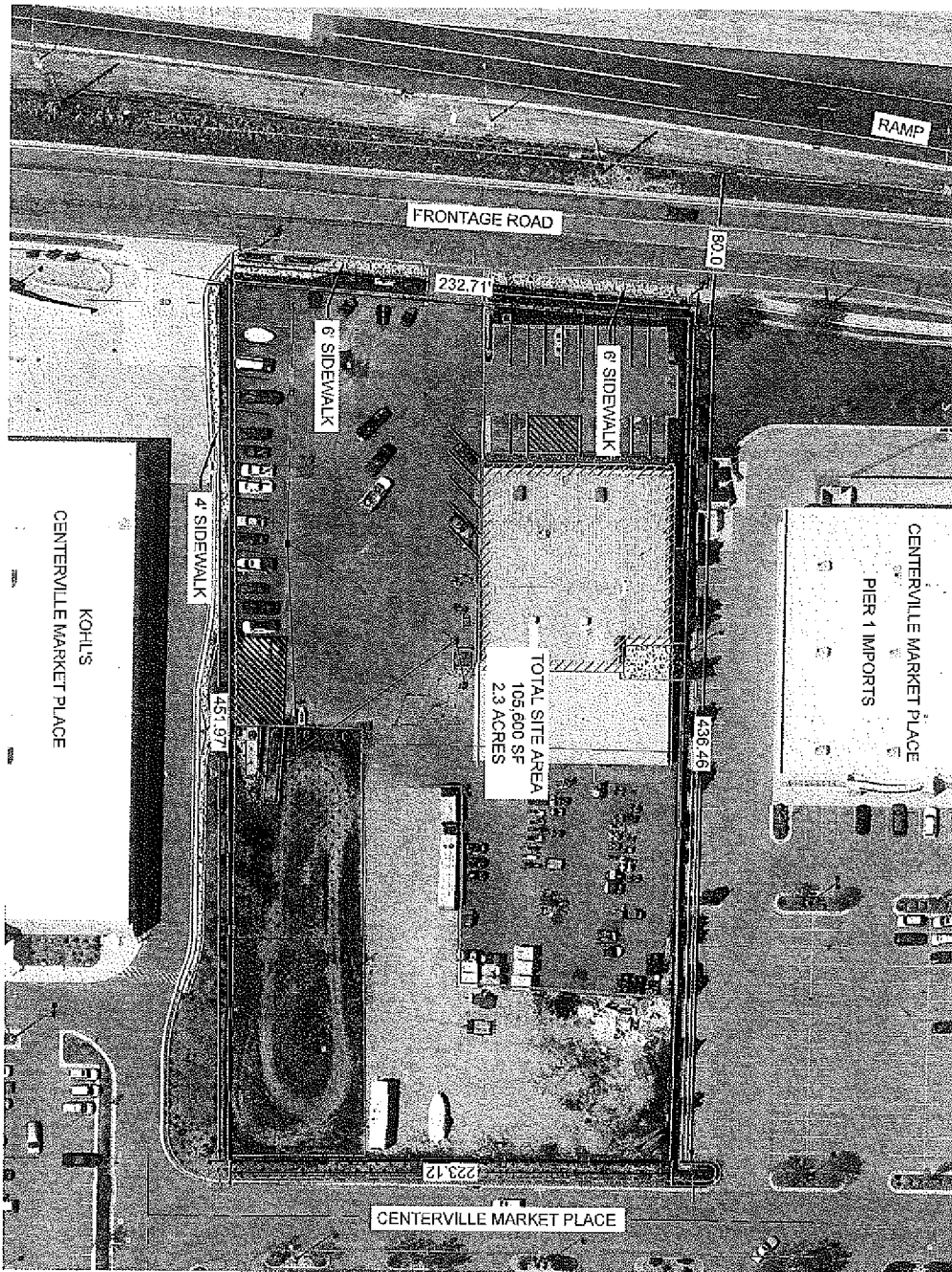
Figure 2 Existing fence on east side of property (photo facing south)

Proposed fence materials:FRONT PANEL 26 GAUGE GALVANIZED SHEETINGREAR PANEL 26 GAUGE GALVANIZED SHEETINGEAST FENCE CROSS SECTION - AANORTH FENCE CROSS SECTION - BB**STAFF RECOMMENDATION**

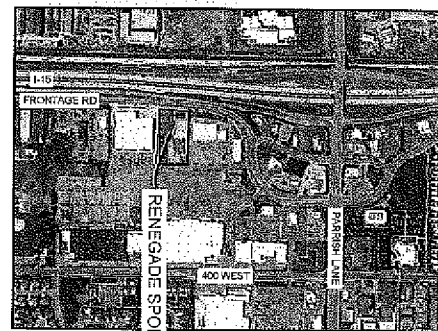
I hereby make a motion for the Planning Commission to approve the increased height of the fence for Renegade Rentals at 240 Frontage Road, which shall not exceed a maximum height of 10 feet.

FINDINGS

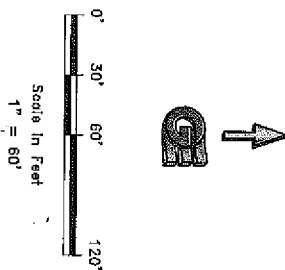
- a) The Planning Commission finds that this increase in height adequately screens the equipment storage equipment from view, therefore benefiting the surrounding properties.
- b) The Planning Commission finds that the property is located in an intensive commercial use area, so visual screening of storage equipment and facilities maintains the aesthetics of this commercial area and therefore benefits the City as a whole.



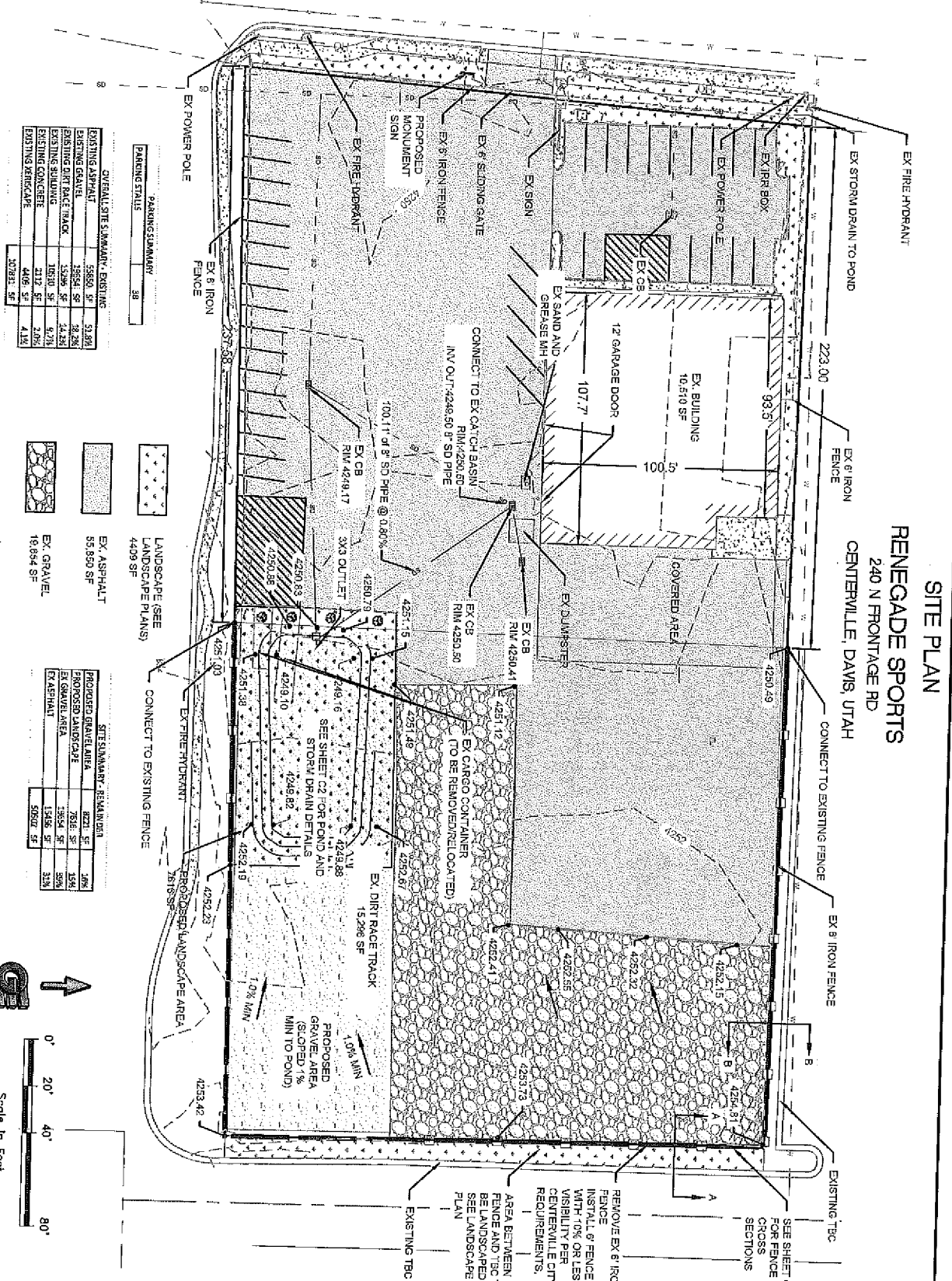
RENEGADE SPORTS
240 N FRONTAGE RD
CENTERVILLE, DAVIS, UTAH



LEGAL DESCRIPTION:
BEGINNING AT A POINT 13.39 CHAINS NORTH AND 11.52 CHAINS EAST OF THE SOUTHWEST CORNER OF SECTION 7 TOWNSHIP 2 NORTH RANGE 1 EAST, SALT LAKE MERIDIAN AND RUNNING THENCE SOUTH 223.12 FEET TO A POINT 7.48 CHAINS WEST AND 990.52 FEET NORTH OF THE SOUTHWEST CORNER OF THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SMO SECTION 7, THENCE SOUTH 88.51 WEST 451.97 FEET TO THE EAST LINE OF THE HIGHWAY, THENCE NORTH 3° 48' EAST 232.71 FEET ALONG SAID HIGHWAY TO A POINT DUE WEST OF THE POINT OF BEGINNING, THENCE EAST 436.46 FEET TO THE POINT OF BEGINNING, CONTAINING 2.322 ACRES
TAX/PARCEL NO. 02-025-0068



CO 4	GARDNER ENGINEERING CIVIL • LAND PLANNING MUNICIPAL • LAND SURVEYING 2150 SOUTH 475 EAST OGDEN, UT OFFICE: 801-734-0202 FAX: 801-476-0058	COVER			Revisions Date Description		Date: 7-17-18
		RENEGADE SPORTS 240 N FRONTAGE RD CENTERVILLE, DAVIS, UTAH					Scale: 1" = 60'
						Designed: KAN	
						Drafted: KAN	
						Checked: TN	

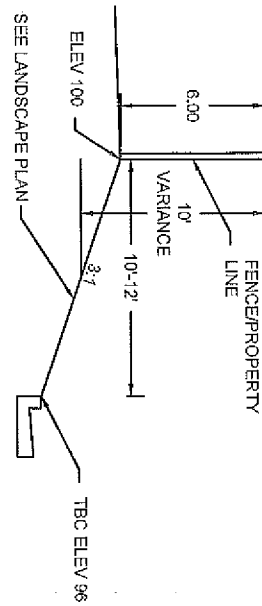


OVERALL SITE SUMMARY - EXISTING		
EXISTING ASPHALT	55,850 SF	51.8%
EXISTING GRAVEL	19,554 SF	18.2%
EXISTING DIRT PACE TRACK	33,296 SF	31.2%
EXISTING BUILDING	105,100 SF	9.7%
EXISTING CONCRETE	21,112 SF	2.0%
EXISTING PAVEMENT	44,016 SF	4.1%
	107,931 SF	

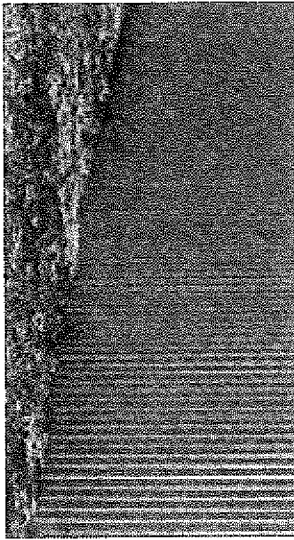
	
EX, ASPHALT \$5,850 SF	EX, GRAVEL 19,654 SF

SITE SUMMARY - REMAINING		
PROPOSED GRAVEL AREA	8221. SF	16%
PROPOSED LANDSCAPE	7516. SF	15%
EX GRAVEL AREA	7959. SF	20%
EX ASPHALT	15436. SF	32%
	50502 SF	

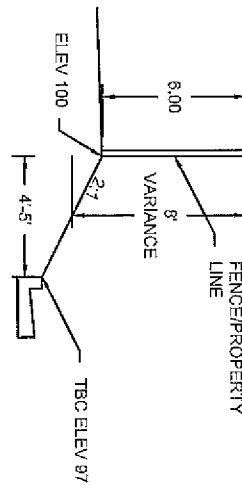
Revisions		Date: 7-17-18
Date	Description	Scale: 1" = 40'
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		Drafted: KAN
		Checked: TN



EAST FENCE CROSS SECTION - AA



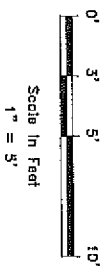
FRONT PANEL 26 GAUGE GALVANIZED SHEETING



NORTH FENCE CROSS SECTION - BB



REAR PANEL 26 GAUGE GALVANIZED SHEETING



C4

4

GARDNER ENGINEERING
 CIVIL • LAND PLANNING
 MUNICIPAL • LAND SURVEYING
 5150 SOUTH 1375 EAST OGDEN, UT
 OFFICE: 801.476.0202 FAX: 801.476.0060

FENCE CROSS-SECTION
 RENEGADE SPORTS
 240 N FRONTAGE RD
 CENTERVILLE, DAVIS, UTAH

Revisions		Date	Description

Date: 7-17-18
 Scale: 1" = 5'
 Designed: KAN
 Drafted: KAN
 Checked: TN

RECEIVED AUG 22 2018

GENERAL NOTES
1. QUARTY CAUSE OFFICE, OR EXISTING CONCERNED POLYMER ENGINE PART
2. DURING ALL TIMES WHEN BLASTING IS PERFORMED, ALL
3. DURING ALL TIMES WHEN BLASTING IS PERFORMED, ALL

[illegible][illegible]

HYDROSEED MULCH FOR LAWN OR WILDLIFE

BEFORE REE AND LAROCHE WERE LEFT ALONE, THE DEFENDANT'S PREPARATION FOR THE MEETING WITH REE AND LAROCHE ON FEBRUARY 7, 1992, WAS APPROVED WITH SPECIAL CIRCUMSTANCES ON PROSECUTOR'S OFFICE, AS APPROVED BY L.A.

[illegible][illegible]

TO LEAD COVERAGE AND FINANCING OF THE PROJECT. THE CONTRACTOR TO ADJUST CLIMATE DURING ESTABLISHED PERIODS. EVIDENT WILL BE GUARANTEED FOR 1 YEAR.

CONTRACTOR MUST BE LICENSED AND NOT ACCEPT ALL RESPONSIBILITY FOR STRUCTURAL INTEGRITY OF WALLS. ROCK WALL DESIGN IS A FIRST AND OBLIGATED TO A STANDARD THAT INSURES

LIGHTING NOTES
CONTRACTOR TO VERIFY PERMANENT PRODUCT DATA, MODEL LIST AND

WARRANTY NOTES
ALL FEATURES OF LANDSCAPE SHALL BE FOR 1 YEAR UNLIMITED / UNLIMITED

WATER FALL NOTES
LA ACCEPTS NO LIABILITY FOR PERSONAL INJURY, PROPERTY DAMAGE, LOSS OF EARNINGS OR ANY OTHER LOSS OR DAMAGE THAT MAY BE INCURRED BY ANY PERSONS OR PROPERTY WHILE PARTICIPATING IN ANY OF OUR ACTIVITIES. WE WILL NOT BE RESPONSIBLE FOR ANY INJURY TO PERSONS OR PROPERTY WHILE PARTICIPATING IN ANY OF OUR ACTIVITIES. WE WILL NOT BE RESPONSIBLE FOR ANY INJURY TO PERSONS OR PROPERTY WHILE PARTICIPATING IN ANY OF OUR ACTIVITIES.

DID PROCESS
L. DID PROCESS MUST BE DETAILED & IDENTIFIED. IT IS ANOTHER DIFFERENCE.

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED
DATE 08-09-2001 BY 60322 UCBAW

CONSTRUCTION NOTES

1. PREPARED & PRODUCT CERTIFICATION.
2. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM ALL LOCAL GOVERNMENT AGENCIES BEFORE COMMENCING CONSTRUCTION.
3. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM ALL LOCAL GOVERNMENT AGENCIES BEFORE COMMENCING CONSTRUCTION.

4. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES NOT SHOWN ON PLANS.

6. CONTRACTOR TO AVOID ANY IMPACT TO ADJACENT PROPERTIES (SEE ATTACHED MAPS).

DESIGNED TO BE SPECIFICALLY AND TIGHTLY CONTROLLED BY THE STATE, THE PROJECT LIES AND WARRANTS CORNER PLACING FOR PLAN COT-LAKE BEFORE ELIMINATING CONSTRUCTION.

[illegible]

II. THE BEST CONSTRUCTION OF PLASENTS EXPOSED
CHIEFLY PRACTICED IN CONSTRUCTION OF PLASENTS EXPOSED
FROM GRAVITY OR GRAVITY CHARTERED BY PAUL. H. KELLER, A.D. 1914.

[illegible][illegible]

DATE: _____
 MONTH: _____ YEAR: _____
 TIME: _____

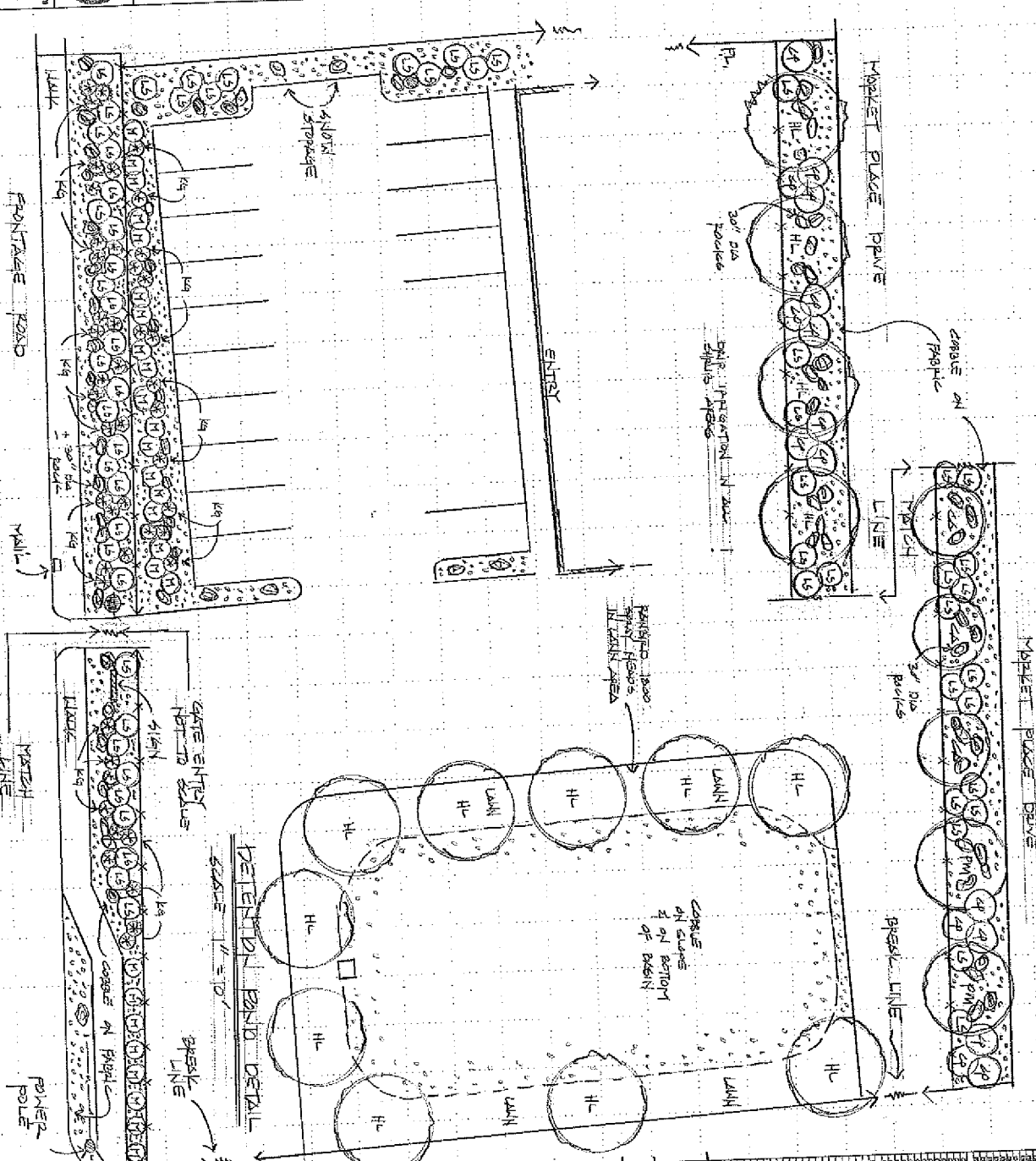
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801-791

LANDSCAPE ARCHITECTS
DESIGN
801-79-0244

PLAIN CITY, UTAH 84404

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RECEIVED AUG 22 2018

**CENTERVILLE
PLANNING COMMISSION
Staff Backup Report
9/12/2018**

Item No. 3.

Short Title: Public Hearing - Conceptual Subdivision - Legacy Lands at 1243 North 1300 West

Initiated By: Jeff Cook, Applicant

Scheduled Time: 7:50

SUBJECT

ADMINISTRATIVE DECISION

The Planning Commission will consider a proposed Conceptual Subdivision for five Commercial lots at 1243 North 1300 West, within the Shorelands Commerce Park.

RECOMMENDATION

Refer to Staff Report

BACKGROUND

Refer to Staff Report

ATTACHMENTS:

Description

- ▢ 9-12-18 PS Staff Report Legacy Lands Conceptual
- ▢ 9-12-18 Legacy Lands Conceptual Plat

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 3**

PROPERTY OWNER: GARY SMITH

**APPLICANT: JEFF COOK
COOK BUILDERS
PO BOX 684 CENTERVILLE UT 84014**

PROPERTY LOCATION: 1243 NORTH 1300 WEST

PARCEL ID: 06-003-0016

PARCEL SIZE: 4.0 ACRES

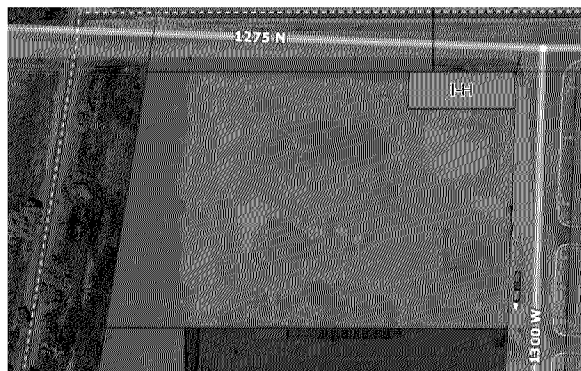
ZONING DISTRICT: SHORELANDS COMMERCE PARK

APPLICATION: CONCEPTUAL SUBDIVISION

STAFF RECOMMENDATION: ACCEPT WITH DIRECTIVES

Background

Mr. Cook is proposing a five lot subdivision for office and warehouse uses within the Shorelands Commerce Park. This site is just north of the UDOT site and to the west of the recently developed The Pastures, currently our only Shorelands Commercial development so far.



This development lies in the Shorelands Commerce Park Zone, so future and subsequent site plans will have a higher standard of architectural requirements and design standards than other commercial/ industrial areas, as defined in CZC 12.68.

General Plan review

West Centerville Neighborhood Plan states in 12-480-6 to *Create & Develop the Shorelands Commerce Park District*:

“Located north and west of the Legacy Parkway, this area is largely undeveloped. Nonetheless, with the opening of the Legacy Parkway, access and placement of needed infrastructure will begin and there is great potential for continued growth and development for the City. Due to a physical separation of this area by the construction of the parkway, the primary goal is to create a unique business park for continued economic growth for the city and to ensure compatibility of development with the purpose and intent of the Legacy Parkway & associated nature preserve. Just as important as the parkway and preserve themes, this area should be preserved for the creation of a quality employment center for the South Davis Area.”

The expected uses of this Commerce Park generally Office (permitted use) and Warehouse (conditional use). It is staff's perception that the applicant has some preconceived designs for the subdivision. Staff raises the caution that developing this property with the allowed uses have additional development expectations that include the architectural design standards of the Shorelands Commerce Park as listed in CZC 12.68 for future building and site plans. These other development standards and the associated expectations may not fully coincide with preconceive designs and encourages that applicant and owner of the property to become aware of them, as they move through the platting process and commit to a recorded configuration of the subdivision.

CONCEPTUAL SUBDIVISION REVIEW - CHAPTER 15.2

Conceptual Review Expectations

The Conceptual Subdivision review gives the applicant an opportunity to receive guidance from the Planning Commission in relation to subdivision regulations and the layout. It also allows the public an opportunity to express their Ordinance concerns regarding the proposed subdivision. The Conceptual Subdivision acceptance does not constitute an approval or disapproval of the proposed subdivision (*see 15.2.105.3*).

Layout Section 15.5.101 and Lots Section 15.5.102

There is NO minimum area for subdivision lots in the Shorelands Commerce Park. Each lot in the proposed Legacy Lands Subdivision contains lot sizes between 26,000 and 41,526 square feet. It should be noted that Lot 5 does not have the minimum frontage requirement and is short by 3 feet, but the lot adjacent has over 100 feet of frontage, so this should be easily adjustable.

Lot and Parcel Standards	Frontage	Lot width
Minimum Standard	50'	50'
Lot 1	110	110
Lot 2	185'	140'
Lot 3	150'	150'
Lot 4	150'	150'
Lot 5	47.47	47

15.05.020 Lots

The side lines of all lots, so far as possible, shall be at right angles to the street which the lots face, or approximately radial to the center of curves, if such street is curved. Side lines of lots shall be approximately radial to the center of a cul-de-sac on which the lots face. The Planning Commission may recommend to the City Council exceptions to this requirement. Upon a showing of good cause, the City Council may allow exceptions to this requirement

Lot 5 of this proposed subdivision is in a flag-shape and therefore not complying with 15.05.020, which says that lots must be in right angles to the street. The frontage and width for this lot also need to be adjusted to fit the zoning ordinance. The Planning Commission may recommend that this proposed shape of lot is acceptable if these adjustments to the dimensions are made and if they feel the lot shape has good cause. Staff believes there is sufficient area to reconfigure Lot 5 and create a lot to meet the expected right angle shape. Leaving this configuration create a long narrow less than/ or 50 corridor that is not conducive to good development. If this area of the property contains wetlands or other constraints (*which preliminary seems to be the case*), it further complicates proper development design.

The property substantially occupies 1275 North and 1300 West, providing two public access points for this development. However, there is a small corner parcel that is separately owned by someone else. This corner parcel will be significantly constrained. However, the adjacent lots are fairly large and at some point the corner parcel might be able to be absorbed into the greater development pattern. But, for now, staff is just making a note of this constraint.

Street, Drainage, and Utility Improvements Section 15.5.103, 105, 106

The subdivision is proposing a private access drive connecting all five lots independently from the public roads. The attempt appears to be creating greater internal traffic circulation for future development of the land. There are NO ordinance constraints for doing so. However, as staff had indicated earlier other development standards and the associated expectations may not fully coincide with the applicant's preconceived designs for building layout and development. Staff encourages that applicant and owner of the property to become aware of these challenges, as they move through the platting process and commit to a recorded configuration of the subdivision.

There are some restrictions on the lots due to some easements –a 50' wide Communication Easements for fiber, and a high pressure gas line easement through the east side of the property. While existing utilities are shown on the plat, the proposed future utilities connecting to each site need to be shown on construction documents at the Preliminary Plat.

STAFF RECOMMENDATION

The Planning Commission hereby makes a motion to ACCEPT the Conceptual Subdivision for Legacy Lands at 1243 North 1300 West , with the following directives:

- 1) A Preliminary Subdivision Application shall be submitted in accordance of CMC 15.03 of the Subdivision Ordinance**
- 2) Lot 5 is to be adjusted to meet not only the the minimum lot frontage requirement of 50 feet, but to meet the expected at right angles to the street which the lots face and eliminate unneedful jogging of side lot lines.**
- 3) Proposed future utility lines to each lot need to be shown at Preliminary Plat.**

Findings:

- a) The conceptual subdivision mostly complies with the General Plan as stated in 12-480-6.
- b) Adjustments are needed to ensure compliance with the requirements for subdivision plat approval as provided in CMC 15, Subdivisions.
- c) This development has the likelihood to meet the Subdivision Ordinance Standards in the, Chapter 15-5 of the CMC.

**CENTERVILLE
PLANNING COMMISSION
Staff Backup Report
9/12/2018**

Item No. 4.

Short Title: Public Meeting - Final Site Plan - Legacy Commons PDO - 1250 West and Parrish Lane

Initiated By: Spencer Wright, Applicant

Scheduled Time: 8:10

SUBJECT

ADMINISTRATIVE DECISION

Consider the proposed Final Site Plan for Legacy Commons PDO, a mixed use development project on the northwest corner of 1250 West and Parrish Lane

RECOMMENDATION

Refer to Staff Report

BACKGROUND

Refer to Staff Report

ATTACHMENTS:

Description

- ▢ 09-12-18 PC Staff Report Legacy Commons Final Site Plan for Residential Uses
- ▢ Legacy Commons FSP Residential Submittal
- ▢ Legacy Commons Materials & Colors
- ▢ Legacy Commons Phasing

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 4**

APPLICANT: **WRIGHT DEVELOPMENT GROUP
C/O SPENCER WRIGHT
1178 W. LEGACY CROSSING BLVD. SUITE 100
CENTERVILLE, UTAH 84014
(spencer@wrightdevelopmentgroup.net)**

PROPERTY: **NORTHWEST CORNER OF PARRISH LANE &
1250 WEST**

ACREAGE: **LOT 1 – LEGACY COMMONS SUBDIVISION**

ZONING: **COMMERCIAL - VERY HIGH, PLANNED
DEVELOPMENT (C-VH/PD)**

APPLICATION: **FINAL SITE PLAN FOR LOT 1 WITH PHASING:**
 a. Phase One – Residential, Multi-family - 111
 Dwelling Units
 b. Phase Two – Commercial Area Site (*to remain
undeveloped at this time*)

RECOMMENDATIONS: **TABLING FOR RE-ADDRESSING THE
BUILDING DESIGN, MATERIALS, OR**

**CONSIDER APPROVING WITH A
PHASING ALLOWANCE**

BACKGROUND

Legacy Commons is a development located in the northeast corner of 1250 West and Parrish Lane. Legacy Commons was approved as a “planned development” that consists of a hotel, commercial, and residential uses. The property was previously divided into two (2) lots; one for the hotel use and the other for the commercial and residential uses. However, the subdivision has *NOT* been officially recorded at this time. This issue will be addressed later in this report.

The Final Site Plan request consists of developing a substantial portion of Lot 1 with the allowed multi-family uses consisting of 111 dwelling units, with associated parking, landscaping, and expected amenities, as defined in the Planning Development Overlay approval. The submittal also requests to delay the development of the commercial portion of the lot by seeking a Phasing approval. The Planning Commission is authorized to consider allowing a phasing plan, provided that each phase can be independently established (i.e. *stand on its own merits*) and meet applicable development code regulations.

As provided below, the Planning Staff reviews the compliance status of the Final Site Plan submittal with the applicable approvals and ordinance regulations. Please note that the assessment below is very thorough and was previous format used by staff in a communication with the applicant. Prior to the scheduling the Planning Commission's review of the Final Site Plan submittal, the applicant had requested that staff provide a compliance assessment for their understanding. This report uses that previous assessment provided to the applicant and makes the necessary alterations for this report. Hopefully, it keeps matters consistent in our communications to both the applicant and the Planning Commission.

LEGACY COMMONS -FINAL SITE PLAN SUBMITTAL FOR MULTI-FAMILY DEVELOPMENT - *(Final Site Plan Submittal Compliance Assessment by Planning Staff)*

ORDINANCE NO. 2017-29 LEGACY COMMONS PDO APPROVAL & CONCEPTUAL SITE PLAN ACCEPTANCE (LANGUAGE WAS COPIED FROM THE PUBLISHED ORDINANCE)

Conditions of PDO Approval. The PDO Rezone and Conceptual Plan for the Legacy Commons PDO are subject to the following conditions of approval:

- a. The **Development Design for the Legacy Commons** shall be substantially consistent with the plan layout received by the City on September 7, 2017, including updated submittals dated November 1, 2017.
- b. The **Land Uses** shall consist of the following:
 - Hotel Use – 1.73 acres, Max. Four-story Main Building (60 feet in height, if a CUP is approved by the City).
 - Commercial Uses (e.g. restaurant & coffee house) – 1.25 acres, two (2) sites (*heights are proposed as 1-story buildings*)
 - Multi-family Residential Uses - 5.20 acres, consisting of:
 - *Max. 3-story Main Buildings (45 feet in height)*
 - *111 Dwelling Units*
 - *236 Parking Spaces with 92 parking stalls in garages*
 - *1.60 acres Open Space (31% of the Residential Area)*

Staff Comments: All residential elements appear to be in compliance. However, the parking count has been reduced

to the minimum ordinance required 203 stalls rather than the 236 depicted on the PDO Conceptual Plan approval.

c. The **Architecture and Building Design Theme** shall consist of the following:

- A Shorelands Commerce Park color palate or other tones deemed compatible with the surrounding development, as approved with a final site plan.
- The design of the Hotel and Commercial Uses shall be subject to the Parrish Lane Gateway Design Standards (*CZC 12.63*).
- The residential design shall be consistent with the submitted Denver based project (*Aster Town Center*) concepts consisting of a low slope-roof (*an adapted contemporary prairie style*) building architecture meeting the approved PDO color palette.
- The residential style and layout shall consist of, with the units fronting streets and pathways with parking hidden behind the building, as depicted on the Conceptual Plan.
- The primary pedestrian streetscape design and trail system path shall be provided along 1250 West, as depicted on the Concept Plan, which creates the ability to connect to the 1250 West pedestrian overpass of Legacy Parkway located further to the north.
- A secondary streetscape (non-pedestrian) design shall be provided along Parrish Lane, with landscaping and fencing, as depicted on the Concept Plan, and compatible with the design across the street to the south.
- The Hotel use shall be subject to the “Increased Height” provision of CZC 12.34.080.
- The Hotel use shall comply substantially with the design, colors, materials, and architectural features depicted in the Hotel Elevation set forth in **Exhibit B**.
- The Commercial Uses shall comply substantially with the design, colors, materials, and architectural features depicted in the Commercial Elevations set forth in **Exhibit B**.

Staff Comments: Building materials and colors appear to be been altered and in staff’s opinion are NOT consistent with the original conceptual design expectations. The building roof accents (see Aster Town Center PDO Exhibit – *an adapted contemporary prairie style*) are missing and the selected colors are not consistent with the Shorelands Commerce Park palette, as utilized in other like developments of this area. All other residential elements appear to be in compliance.

d. The **Site Layout & Landscaping Theme** shall consist of the following:

- Site Access will be from 1250 West Street consisting of two planned accesses; one primarily for the hotel and commercial uses and the other for residential uses, as depicted on the Concept Plan.
- Limited access to the Hotel from Parrish Lane as depicted on the Concept Plan may be approved as part of any related final development approval, subject to UDOT approval.
- As part of any related final development approval, the southern access for the commercial uses shall be deemed acceptable to the City upon review by a traffic engineer to establish whether it is a limited or full turn-movement access point.
- All interior drive lanes shall be integrated within the entire development, as depicted on the Concept Plan.
- The hotel and commercial uses will be located along Parrish Lane and the south corner and southern portion of 1250 West, as depicted on the Concept Plan.
- The residential uses will be located behind (*from Parrish Lane*) and also fronting the northern portion of the property along 1250 West, along the proposed trail/pathway, as depicted on the Concept Plan.
- The Common Area amenities shall be provided in an integrated manner and internal pathways shall be provided connecting to the residential units, as depicted on the Concept Plan.
- The proposed landscaping theme, particularly along Parrish Lane and 1250 West, is to be compatible with the drought tolerant style used in the Legacy Trails project (*across the Parrish Lane to the south*).
- The fencing and pedestrian style street lighting fixtures shall be used along 1250 West, as depicted on the Concept Plan.
- The fencing and parking lot lighting along Parrish Lane shall be consistent with the styles used along 1250 West.
- Interior project landscaping shall be consistent with the streetscaping shown on the conceptual plan. A final detailed landscaping plan shall be prepared and submitted with any final development application.
- A screen wall or fence shall be provided along the northern property boundary to buffer the residential units from the adjacent I-H zone, as depicted on the Concept Plan.
- The bench and water feature shall be provided at the intersection corner of Parrish Lane and 1250 West and shall be compatible with the design plan concepts implemented for the Parrish-Legacy CDA.

Staff Comments: Landscaping along 1250 West frontage appears to be compatible with the drought tolerant style used in the Legacy Trails project (*FYI - there is NO secondary water in this area of the City*). The plans depict the expected fencing w/ pillar elements and approved style along 1250 West. The south access needs final approval from the City Engineer. All other residential elements appear to be in compliance.

- e. The **Site Plan/Subdivision and Phased Construction** shall be prepared as one development site to support the development in its entirety. All public improvements must be provided and installed as part of subdivision approval and/or development of Phase One of the project under site plan approval, whichever is sooner. However, construction activities may be phased as independent lots, as follows:

- *Phase One – Hotel*
- *Phase Two – Commercial Buildings*
- *Phase Three – Multi-Family Residential Buildings and related elements*
- *As a required condition of approved phasing of the construction activities, the developer must obtain a building permit for the Hotel and pour the required foundation for such structure prior to the issuance of any building permit for any Residential Buildings.*

Staff Comments: The subdivision plat and associated public improvement bond have not been completed, as expected. Also, all residential development activity is prohibited until the hotel phase is established, as per the City's PDO approval. All other residential elements appear to be in compliance.

- f. The **Development Variations Allowed** for the Legacy Commons are limited to the following:
- *Parrish Lane Gateway Design Standards (12.63)* - The development plan is to relocate the pedestrian-oriented amenities that normally abut the Parrish Lane Corridor to the 1250 West Corridor.
 - *Lot Side Lines/Right Angles (15.05.020)* – The side line (north-south) between the two lots may have a right-angle jog, which is a design consequence of the interior access lanes amongst the various uses.

Staff Comments - See Compliance with Parrish Lane Gateway Design Standards CZC 12.63 All other residential elements appear to be in compliance.

COMPLIANCE WITH APPLICABLE PARRISH LANE GATEWAY DESIGN STANDARDS
(See CZC 12.63)

Parrish Lane Gateway Area Boundaries. The Parrish Lane Gateway Area consists of any property that has frontage on Parrish Lane, is part of a larger project that has frontage on Parrish Lane, or has a significant visual presence on Parrish Lane, between Main Street and the Legacy Highway right of way, within the City of Centerville. However, the PDO approval relocated the pedestrian amenities from Parrish Lane to 1250 West.

12.63.040 Architecture

Articulation:

- A building should reflect a human scale and be inviting to the public. Large buildings shall be "stepped", both vertically and horizontally, to break up the building mass and provide aesthetic relief.
- Buildings shall be accessible for pedestrians and public transit users, not just for people driving private automobiles.
- Building entrances shall be identifiable and directly accessible from public sidewalks via on-site pedestrian walkways. (Drive aisles and other vehicular accesses shall not be considered pedestrian walkways).
- Pedestrian walkways shall have at least five feet of unobstructed width and shall be part of an approved pedestrian circulation plan.
- A controlled physical environment discourages criminal activities. All buildings shall have proper security lighting, and developers should consider other security measures such as security hardware, surveillance equipment, and security-oriented building designs.

Staff Comments: All pedestrian walkways are depicted with the 5' width requirement. Parking lot lighting has been provided. However, does the development need additional building security lighting? All other design elements appear to be in compliance.

Public Amenities.

- Overhangs and canopies should be integrated into the building design so as to enhance pedestrian walkways.
- Comfortable and attractive amenities such as benches, tables, drinking fountains, trash receptacles, information kiosks, plazas, fountains, etc., should be provided for public enjoyment and comfort.
- Where necessary, bus shelters should be incorporated into the building and/or site design and meet the criteria of the State transit authority.

- All building access and site amenities should be accessible to the physically disabled and shall comply with applicable provisions of the Americans with Disabilities Act (ADA).

Staff Comments: Expected attractive pedestrian amenities are limited - Staff suggests the use of wayfinding signing for different buildings (addressing signs), use of benches and trash cans be incorporated as public/resident site layout amenities. All other expected design elements appear to be in compliance

Colors and Materials:

- All applications for site plan review of construction within the Parrish Lane Gateway Area shall include a "storyboard" with samples of the colors and materials to be used on-site. "Storyboard" materials should harmonize with existing, surrounding development
- Buildings should be constructed primarily of cement block, brick, or similar maintenance-free material.
- At least 25% of the primary façade shall have upgraded architectural features such as canopies, pillars, archways, and other treatments.
- At least 15% of a secondary facade (the façade facing a none-primary frontage) shall be of upgraded architectural features.
- At least 5% of all other facades shall be of upgraded architectural features.
- Fencing for storage or sales areas shall be of wrought iron or similar construction up to eight feet in height.
- Fence height may be extended beyond eight feet for areas which require additional security subject to the issuance of a conditional use permit pursuant to CZC 12.21.100. The additional fencing shall use the same materials or be chain link covered with screen-fabric.
- Pillars and/or similar architectural features shall be constructed at periodic intervals for all fencing to provide visual relief.

Staff Comments: As indicated earlier, the PDO set the building materials and colors, which appear to be been altered and in staff's opinion would not likely be consistent with the original PDO conceptual expectations. Pillars and/or similar architectural features are depicted at periodic intervals for all fencing to provide visual relief are missing from the fence design. All other expected design elements appear to be in compliance

Screening:

- All rooftop equipment and satellite dishes shall be screened so as to not be visible from the nearest public street and shall be integrated with the building design. Screening should be part of the articulation of the building and should not appear to be an afterthought. All screening shall be architecturally compatible with the primary structure.
- Screening devices and landscaping shall be used to mitigate the visual impact of utility equipment and service areas. All service areas shall be screened to conceal trash containers, loading docks, transformers, backflow preventers, and other mechanical

and/or electrical equipment.

- Well-lighted areas discourage criminals from loitering and endangering passing pedestrians. Service areas and other screened areas shall have proper security lighting.

Staff Comments: Staff assumes that the mechanical equipment is located behind the building's roof parapet walls. However, the methods for screening of any such equipment, satellite, or other utility service equipment are missing or have not been identified on the plan submittals. Parking lot lighting has been provided, however, does the development need additional building security lighting? All other expected design elements appear to be in compliance

Landscaping and Features:

Overall Design Concepts – At least 15% of the gross site area shall be landscaped. Dedicated walkways, plazas, and other pedestrian oriented hardscape areas may be included as landscaping, provided that they do not exceed 15% of the required minimum landscaping requirement. As used herein, hardscape means sidewalks, urban trails, plazas, and other non-vegetative construction located in areas designated as landscaping.

The landscaping plan of each site shall be unified both internally and externally and relate to the larger context of the surrounding community. All landscape plans should consider the site's history and its unique contribution to the character of the community. The landscaping plan shall include a pedestrian circulation element that shows interconnectivity with surrounding sidewalks, urban trails, and surrounding uses.

The city encourages appropriate pedestrian connections to adjacent neighborhoods. The size and spacing of landscape elements should be consistent with the size of the project and should relate to any identifiable streetscape. The landscaping should also enhance the textural qualities of the structure and provide variety and interest.

Coordinating the landscape design with the placement of utility elements helps to mitigate their impact and reduce the potential for conflicts. Proper landscape design shall be utilized to mitigate the visual impact of all site utility elements such as overhead power lines, transformers, meter boxes, backflow preventers, fire protection devices, etc. Trees adjacent to pedestrian walkways shall have a general canopy clearance of at least seven feet.

Site Grading - Site design should minimize the removal of mature trees and other existing mature vegetation. Where removal is necessary, mature trees should be salvaged or replaced on a three for one basis. Any trees prohibited by resolution, ordinance, or statute shall not be replaced.

Abrupt or unnatural changes in grade may create barriers or disrupt drainage patterns. Proposed grading should be designed to take advantage of the natural grade and land features. Steep slopes, generally 3:1 or greater, shall be stabilized with vegetation, retaining walls, or other appropriate measures. Sites shall be designed to minimize erosion. Landscape plans

shall preserve and incorporate natural land features such as streams, washes, springs, etc., into the overall site plan.

Drainage – Surface water, site drainage, and storm water detention should be integrated with overall landscape design. Whenever possible, detention areas should be designed as usable open space. Drainage requirements shall be assessed based on City drainage standards and individual site characteristics.

Groundcover (Living and Nonliving) – Future development sites should receive temporary landscaping treatments to provide dust and weed control, and to prevent erosion. For phased projects, property being reserved for future development should be landscaped using water-conserving plant material or other alternative conservation methods that control dust and weed nuisances. Less than 75% of softscaped landscaping area should be planted in turf or high water-use plants. Functional turf areas in parks, schools, multiple-family residential developments, golf courses, shall be exempt from this requirement. As used herein, softscape means living plants and organic materials located in areas of landscaping.

Plant Materials – Plant materials shall be selected as provided in CZC 12.51 (Landscaping and Screening). Pedestrian safety and comfort should be considered when selecting trees and plant material. Water conservation and community image should be important criteria for plant material selection.

Art and Furnishings - Public art creates a greater impact if integrated into the overall design of a site. If public art is used, it should be integrated into the overall design of a project. Compatible lighting fixtures and other appurtenances help to reinforce the design theme of a project. Lighting fixtures and illumination should be of similar design and character as the project's building components. Street furniture and related features are encouraged.

Maintenance – Maintenance issues can often be mitigated by good design and planning. Projects should demonstrate that maintenance factors have been considered in the landscape design.

Maintenance specifications can facilitate the achievement of the design intent as the project matures. During the site plan and design review process, the applicant shall submit a program for the intended maintenance of the landscape. An efficient irrigation system will control growth and reduce maintenance costs. Irrigation systems should be designed to minimize maintenance and water consumption. Undeveloped portions of sites often become unsightly and hazardous due to lack of proper maintenance. Phased developments shall indicate a mechanism for dust, weed and debris control on undeveloped portions of the site and shall ensure continuing compliance.

Staff Comments: The Phasing Plan does address the temporary landscape treatments for dust and weed control for areas not being developed. The landscaping plan does NOT address the less than 75% planting being turf or high water needing plants. All other expected design elements appear to be in compliance

Off-Street Parking - Layout

Surface Parking Design – Five percent of the gross parking surface area shall be of dispersed interior landscaping, designed so as to reduce the "heat island" effect and to enhance the aesthetics of a parking area. The following are acceptable interior landscaping designs:

- Five feet by five feet tree diamonds placed not more than six parking spaces apart and located at the intersection of parking space striping. Tree diamonds shall be used only with 90-degree parking spaces;
- Five-foot landscaped medians with trees planted 40 feet apart; or
- Other similar designs that disperse landscaping throughout a parking area as reasonably determined by the Planning Commission.

Parking areas should be buffered from adjacent residential property and screened from streets so automobiles are not visible below the average headlight height. Screening methods may include landscaped berms, low walls, and hedges.

Access drives, internal circulation drives, parking areas, and pedestrian walkways shall be designed to provide safety and convenience for both motorists and pedestrians and to ensure access for the physically disabled. Areas where pedestrian walkways cross driveways shall be constructed of stamped and/or raised concrete, or of other material and design so as to differentiate the area as a pedestrian/vehicle interface.

Every parking space should be no greater than 150 feet from a sidewalk leading to a building entrance. Joint use of parking is encouraged in order to reduce trips. Access to, and the location of, new parking areas should relate to adopted area plans, planned parking in the area, or to existing area parking schemes. The Planning Commission may reduce the minimum required number of parking spaces as provided in CZC 12.52.110(b).

The number of curb cuts should be minimized and pedestrian access enhanced. Cross-access connections/easements are encouraged.

Site lighting should be aesthetically attractive, of pedestrian scale, and provide pedestrians with a sense of security.

All sites shall meet the requirements of the Americans with Disabilities Act (ADA).

Staff Comments: All expected design elements appear to be in compliance

Overall Design Concepts:

Parking lot design should consider future development on adjacent sites.

Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple-family residential traffic should be directed onto collector streets.

Clearly defined buffers enhance the attractiveness of the streetscape and promote pedestrian safety. A site plan should clearly express separation between pedestrian and vehicular traffic.

Staff Comments: Generally, the site plan reflects the design elements of the PDO approval and design standards.

Off-Street Parking - Lighting

Standards – Lighting used to illuminate any off-street parking spaces, vehicle maneuvering areas, or loading/unloading areas shall conform to the following standards:

- Illumination of driveway access to streets shall meet City Standards and Specifications.
- Light poles shall be set on pillars or placed in landscaped areas to minimize direct contact with vehicles.
- To reduce light pollution, lighting systems shall obscure the lamp image to direct light where needed.
- Luminaire mounting height shall reasonably match the scale of the surrounding buildings.
- Noise created by electromagnetic ballasts shall be kept to a minimum and shall not be noticeable above ambient background levels.

All parking and drive areas shall have minimum illuminance levels as follows:

- Commercial uses: 0.5 horizontal foot-candles, 0.25 vertical foot-candles.
- Residential, public facility, and industrial uses: 0.2 horizontal foot-candles, 0.1 vertical foot-candles.
- Lighting shall be arranged or directed so as to reflect the light away from adjacent properties and to prevent glare for street traffic. The intensity of light at adjoining residential property shall not exceed 0.1 foot-candles.

Lighting Plans - Lighting plans submitted for review shall include:

- The location and height of all light poles; and
- Predicted illumination levels, based on maintained illumination levels just prior to lamp replacement and luminaire cleaning, within, at, and beyond property lines.

Designers of lighting plans shall consider:

- Shadow effects of trees, signs, buildings, screen walls or other fixed objects.
- Sufficiently illuminating the entire off-street parking area to allow pedestrians and motorists to see potential danger in their peripheral vision, to promote pedestrian and vehicle safety, and to prevent assault, theft and vandalism.

Staff Comments: The lighting plan addresses the foot-candle or shielding requirements. However, the use of building design lighting is NOT addressed. All other expected design elements appear to be in compliance.

Streetscape Standards:

The following streetscape improvements shall be provided within the Parrish Lane Gateway Area (*Note: the PDO approval shifted the Parrish Lane Gateway Improvements from Parrish Lane to 1250 West*).

Location – All streetscape improvements shall fit within the area reserved for a standard 20-foot front yard and the public right-of-way. In the event that a full 30-foot width is not available within the described area, the City may adjust landscaping standards as necessary to meet the intent of this Chapter. (Note the PDO approval replaced this expectation with the “Drought Tolerant Design” similar to the Legacy Trails Development).

Landscape Coverage Reduction – Overall site landscaping coverage requirements shall be reduced to 90% of current standards to compensate for streetscape improvements. Except as provided in this Section, no site may have less landscaping than what is required within the streetscape area by this Chapter.

Pedestrian Lighting – Pedestrian scale lighting shall be provided at an average interval of 90 feet or less. At no time shall there be a space between light fixtures larger than 100 feet or less than 80 feet. The style and height of the light fixtures shall be uniform along the entire length of the streetscape area and shall conform to the standards set forth in this ordinance (See Figure 3. Pedestrian Lighting Standard). In addition to security and aesthetic purposes, the light poles shall serve as platforms for hanging banners promoting cultural and civic events.

Signs – No signs shall be located within the 30-foot-wide streetscape area unless specifically permitted by this Chapter.

Fences – No fences or other obstructions shall be built within the 30-foot streetscape area, with the exception of fire hydrants, which shall be placed within the 15 foot bermed area adjacent to the street. (*Note the PDO approval replaced this expectation with the “Drought Tolerant Design” with the short 4-foot fencing similar to the Legacy Trails Development*)

Maintenance Responsibility – The property owner shall be responsible for the maintenance of all improvements within the streetscape area. Centerville City reserves the right to pursue any legal recourse to insure the maintenance of the property. Pedestrian lighting shall be maintained by the City.

Sprinkler System – Landscaping shall include a sprinkler irrigation system and shall be perpetually maintained.

Staff Comments: The pedestrian street lighting spacing exceeds the minimum/maximum requirement allowed of 80-100 feet along 1250 West. All other expected design elements appear to be in compliance.

COMPLIANCE WITH APPLICABLE LANDSCAPING & SCREENING STANDARDS
(See CZC 12.51)

Parking Lot Landscaping:

Trees shall be planted in parking areas to provide shade to minimize surface heating. Where possible, the amount of asphaltic or other hard surface areas should be minimized. Every parking lot consisting of more than 10 spaces and 3,500 square feet shall contain, at a minimum, internal landscaped islands as follows:

- Multiple-family residential: 10% of total parking lot area.
- Office and commercial: 7% of total parking lot area.
- Industrial and warehouse: 5% of total parking lot area.

For every six required parking spaces, or portion thereof, a minimum of two shrubs and one deciduous tree shall be provided within each internal parking island area. The species of such trees shall be such that at maturity a tree canopy is provided to shade the parking area below each tree. Internal landscaped islands shall contain a minimum of 25 square feet and shall have a minimum average width of at least 5 feet.

Internal landscaped islands shall be located in the following priority:

- To define major drives and access ways;
- To delineate ends of parking rows;
- At aisle intersections; and
- Within parking rows.
- Artificial plants or landscaping shall not be permitted in the required parking lot landscaped areas.

Staff Comments: Staff perceives that the parking lot contains 10% landscaping. However, the landscape or site plan needs to provide the calculation in the tabulation tables. All other expected design elements appear to be in compliance

Public Street Landscaping:

Except for approved driveways and pedestrian walkways, landscaping shall be provided along public streets as set forth below. Landscaping provided within a planned development may be required to exceed these minimum requirements. Within the area adjacent and parallel to the frontage of a public street or highway to the depth shown, as measured from the back of curb:

- Freeway and Parrish Lane-Centerville Marketplace: 30 feet; (*Note: PDO Approval moved this requirement to the 1250 West Frontage*)
- Arterial or collector street: 15 feet; and
- Minor or local street: 10 feet; and

Within a parking strip - One tree shall be planted for every 25 feet of public street frontage in a required landscaped area. Such trees may be clustered along a particular

frontage or boundary. Applicants desiring to fulfill this requirement by placing the trees within the park strip, shall be subject to CZC 12.51.070(a)(6) and all other applicable City Ordinances, including CMC 11.01.150 regarding street tree regulations and permit requirements.

The slope of any earth berm adjacent and parallel to public street right-of-way shall not exceed a vertical to horizontal ratio of one to two (1:2) and shall be treated with suitable ground cover to prevent soil erosion. Artificial plants or landscaping shall not be permitted in the required public street frontage and park strip landscaped areas.

Staff Comments: Staff calculated the tree count for the public frontage of 1250 west needing 15 trees and 21 are provided. All other expected design elements appear to be in compliance

Landscaping for Non-Single-Family Projects:

At least 40% of a planned development, condominium, multiple-family dwelling, assisted living facility, or other similar non-single-family residential development project shall be landscaped open space. If a waiver allowing reduced landscaping is approved as provided in CZC 12.51.050, the minimum amount of required landscaping shall not fall below 30%. Landscaping shall be designed to enhance crime prevention, provide privacy, and maximize energy efficiency by planning for proper solar orientation. Open space and common areas shall include a minimum of one tree and two shrubs per dwelling unit.

Staff Comments: The applicable PDO approval required only 31% landscaping. However, there is 39.3% open space total when counting the common space amenities. The staff count for one tree/2 shrubs per unit with the allowed substitute of 25% is depicted on the landscape plan. All other expected design elements appear to be in compliance

Plant Characteristics:

Plants used for landscaping shall:

- Be drought tolerant;
- Have non-invasive growth habits;
- Have low maintenance characteristics; and
- Be commercially available.

Plant Quality – Plants installed to meet the requirements of this Chapter shall conform to or exceed plant quality standards set forth in the most recent edition of American Standard for Nursery Stock published by the American Nursery & Landscape Association.

Plant Spacing - Plants shall be installed to allow sufficient space for the growth characteristics of plants without adversely affecting maintenance of structures, walks or drives.

Plant Size - The minimum size of trees and plants installed to meet the requirements to this Chapter shall be as follows:

- Deciduous trees: 2-inch caliper (diameter) measured at 12 inches above the tree base.
- Coniferous trees: 6 feet high.
- Shrubs: 18 inches high.

Tree Types - Selected tree types should be commonly known to the area; provided, however, that Elm trees shall be prohibited. Box Elder, Salix and Poplar trees shall be prohibited within 25 feet of a public right-of-way and public utility easements.

Staff Comments: This section was included for disclosure of the expected plant quality, sizing and installation requirements. All expected design elements appear to be in compliance, as shown on the submitted landscaping plan.

Installation, Irrigation, And Maintenance

Required landscaping shall be installed, irrigated, and maintained in accordance with the following standards:

Installation - Landscaping shall be installed according to accepted nursery practices.

Bond - When landscaping is required as part of a special amenity, public improvement, planned development, or for increased density, the developer shall provide the City with an irrevocable letter of credit, cash bond, or escrow agreement, in an amount equal to the estimated landscaping cost, to guarantee installation and maintenance of landscaping. Such security shall be retained, withdrawn, and/or released in accordance with the City's adopted bond procedures for site plan and subdivision approval.

Certificate of Occupancy - No certificate of occupancy for development requiring landscaping shall be issued until:

- Improvements shown on the landscaping plan are inspected and accepted by the Zoning Administrator as complete; or
- An extension agreement has been executed as provided in Subsection (e).

Warranty - The developer shall warrant that completed landscaping complies with the approved landscape plan, including the quantities, location, species, and size of plants and other landscape materials, and that such landscaping will remain in good condition free from defects in material and/or workmanship during the warranty period.

For the purpose of this Subsection "warranty period" means a period of one year beginning when the City accepts the landscaping as complete. During the warranty period the developer shall promptly repair, correct, or replace defective materials, equipment, and workmanship without charge or cost to the City. The City may at any time during the warranty period inspect, photograph, or televise such landscaping and shall notify the developer of any necessary repair, correction, or replacement.

Landscaping Extension Agreement - If seasonal or weather conditions prohibit landscaping installation, an applicant may obtain a certificate of occupancy before required landscaping is completed if the applicant executes a landscaping extension agreement assuring such landscaping will be completed to the satisfaction of the City within a specified period of time not to exceed seven months from the date of occupancy. Any associated bond shall be retained and required during the period of an extension.

Irrigation - Landscape areas shall be irrigated as necessary to maintain required plant materials in good and healthy condition, while at the same time avoiding water waste through inefficient irrigation.

Staff Comments: This section was included for disclosure of the bond/warranty and installation requirements. NOTE: The City does not have secondary water providers for this area of the City. Consequently, the City's culinary water system will need to be adapted to irrigate and meet the backflow and meter flow capacity for maintenance of the landscaping. All expected design elements appear to be in compliance

12.51.110 Screening Requirements

The following features on a development site shall be screened as provided below.

Trash Receptacles – Trash receptacles shall be screened from view by a wall or fence which:

- Is at least six feet in height;
- Provides complete visual screening of the receptacle; and
- Is compatible in material and color with the main building on the lot or parcel.

Staff Comments: The plan states a 6' masonry wall. However, the details of the materials for the facilities to determine "compatibility" are missing. Also, the expected door/gate screening design is missing. All other expected design elements appear to be in compliance

Outdoor Storage Areas - Outdoor storage areas permitted by this Title shall be screened from view by an opaque fence or wall. Non-opaque fencing, such as powder or vinyl coated chain-link, may be used to satisfy this requirement in industrial zones if vinyl slats are inserted into the fence.

Staff Comments: The use of outdoor storage is NOT EXPECTED with the residential component of the PDO.

Service and Loading Areas – Service and loading areas in multiple-family residential, public facility, commercial, or I-M zones shall be screened from public view.

Staff Comments: The use of service/loading spaces are NOT EXPECTED with the residential component of the PDO.

Ground-Mounted Utility Boxes, Meters and Mechanical Equipment – Ground mounted utility boxes, meters, and mechanical equipment in multiple-family residential, public facility, commercial, or I-M zones shall be screened from public view by landscaping or architectural elements compatible in material and color with the main building on the lot or parcel. This requirement shall not apply to:

- Rear and rear side yard locations adjacent to other service or mechanical areas not adjacent to a public street; and
- Development in agricultural and R-L Zones.

Roof-Mounted Mechanical Equipment – Roof mounted mechanical equipment shall be concealed by material which is consistent with building design and is equal to or greater in height than the mechanical equipment.

Staff Comments: The required screening is neither shown nor noted on the final site plan submittal

COMPLIANCE WITH APPLICABLE OFF-STREET PARKING AND LOADING
STANDARDS (See CZC 12.52)

Parking Location

On-Site Parking – Except as allowed in Subsection (b) all required parking shall be located on the same lot or parcel as the use to which it is appurtenant and shall be located within 300 feet from the premises served.

Staff Comments: All expected design elements appear to be in compliance

Number and Type of Parking Spaces

Parking Required – All required parking shall be located on-site and shall be provided in accordance with this Section for every land use regulated by this Title except as otherwise expressly allowed by this Title. The total number of parking spaces required by this Section shall be determined by adding together the parking required by each of the Subsections in this Section. On-street parking shall not be included in any required parking calculation.

Standard Parking Spaces – Standard parking spaces shall be provided in the Off-Street Parking Schedule set forth Section 12.52.300.

Handicapped Parking Spaces – Parking spaces for handicapped persons shall be provided as required by the applicable provision of the Construction Codes and the Uniform Federal Accessibility Standards Manual, as amended.

Dwelling, multiple-family	Studio and 1-bedroom units: 1.5 spaces per dwelling unit Two (2) or more bedroom units: 2 spaces per dwelling unit
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Staff Comments: All expected design elements appear to be in compliance

Recreational Vehicle Parking

Adequate and accessible recreational vehicle parking storage areas shall be required in each multiple-family and planned residential development project unless the premises are subject to restrictive covenants or other means limiting the parking of such vehicles.

Staff Comments: The use or prohibition of RV parking has not been addressed.

Parking Dimensions

Unless otherwise modified as provided in this Chapter, parking space, bay, and related dimensions shall be as follows:

- **Parking Space Dimensions.** Parking space and related dimensions shall be as set forth in this Section and as shown in Section 12.52.310.
- **Standard parking space:** 9 by 18 feet.
- **Carport:** Minimum inside dimension of 9 by 20 feet for each parking space.
- **Garage:** Minimum inside dimension of 10 by 20 feet and minimum door width of 8 feet for each parking space.
- **Handicapped parking space:** Standard size plus 4-foot unloading area parallel to the length of the space. Loading area may be shared with an adjacent handicapped parking space.
- **Angle parking space:** See Section 12.52.310.
- **Parallel parking space:** 9 by 22 feet.
- **Loading space:** 10 by 25 feet.
- **Stacked space:** 10 by 20 feet.

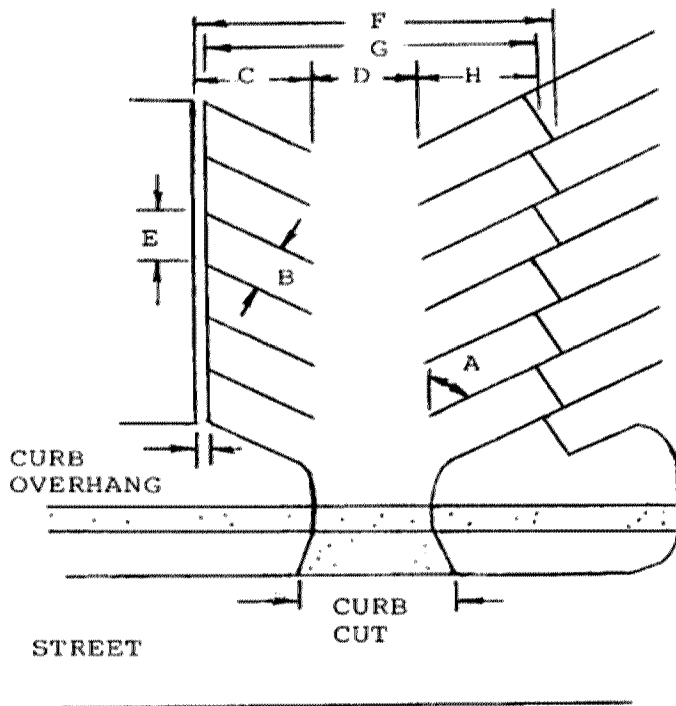
Staff Comments: All expected design elements appear to be in compliance

Parking Space and Aisle Dimension Standards (in feet)

Dimension Factors							
A	B	C	D	E	F	G	H

Two-Way Aisle							
90°	9	18	25	9	60	60	18
75°	9	20.3	25	9.5	64	55	18.7
60°	9	20.1	25	10.4	64.2	59.8	17.9
45°	9	19.1	25	12.7	62.2	55.8	15.9

Figure 1. Parking Space and Aisle Illustration



Staff Comments: All expected design elements appear to be in compliance

Driveway Dimensions

- Minimum driveway dimensions shall be as follows:
For access to five or fewer spaces: 12 feet.
- For access to six or more spaces: 12 feet for one-way traffic; 25 feet for two-way traffic.

- Driveway width shall not exceed 35 feet.

Staff Comments: All expected design elements appear to be in compliance

Parking Lot Design and Construction:

Parking Plans – A plan for any proposed parking area shall be submitted to the Zoning Administrator in conjunction with a proposed site plan application or other application for development. The parking plan shall clearly indicate the proposed development and associated parking, including parking location, size, shape, and design; curb cuts; lighting; landscaping; and other features of the proposed parking area. Parking spaces shall be striped as shown on an approved parking plan.

Access to Public Street – Except for parking for a single-family or two-family dwelling, access to a parking lot shall be from a parking lot aisle and not directly from a public street. Every parking lot shall have access to a public street. Such access may be provided through platted or recorded easements, reciprocal arrangements, or other guaranteed means as approved by the City.

Backing Space – Each parking lot shall include required backing space within the lot or parcel so a vehicle will not exit by backing onto a public street. A public sidewalk shall not be used as a part of a required backing area for a parking lot. Separate one-way exits shall be provided for angled and one-way parallel parking in a parking lot.

Curb – All required parking for multiple-residential, public facility, commercial and industrial uses shall be bordered by continuous concrete curbing to serve as wheel stops and drainage channels.

Curb Cuts and Driveways – Curb cuts and driveways allowing access to a public street shall conform to adopted City Standards and Specifications.

Internal Circulation – Each parking lot shall provide for traffic circulation on the property adequate to access all parts thereof without the necessity of exiting onto a public street.

Landscaping – Parking lots shall be landscaped as provided in CZC 12.51 (Landscaping and Screening).

Lighting – Parking lots used at night shall be adequately lighted, utilizing hooded light sources.

Parking lot lights shall be arranged to direct light away from adjoining residential property. Parking lot light poles shall be installed at a maximum height of 20 feet in residential zones and 25 feet in public facility, commercial, and industrial zones.

Paving – Unless expressly provided otherwise in this Title, every parking lot required by this Title shall be:

- Paved with asphalt, concrete or some other all-weather surfacing material in accordance with City Standards and Specifications;
- Maintained to eliminate dust or mud; and
- Graded and drained to dispose of all surface water. Such surface water drainage shall not cross a public sidewalk.

Staff Comments: The driveways and access lanes need to be recorded with the approval subdivision plat or as part of a site plan approval, as per City Engineer recommendations. See other sections for staff comments regarding landscaping, lighting, and parking drive isle dimensions. All other expected design elements appear to be in compliance

COMPLIANCE WITH APPLICABLE SUPPLEMENTARY DEVELOPMENT STANDARDS
(See CZC 12.55)

12.55.050 Adequate Public Facilities:

Land shall be developed only where existing infrastructure is in place or will be timely provided to service proposed development. The City may require an analysis to be completed to determine whether adequate public facilities are available to service a development and whether such development will change existing levels of service or will create a demand which exceeds acceptable levels of service for roadways, intersections, bridges, storm drainage facilities, water lines, water pressure, sewer lines, fire and emergency response times, and other similar public services. The City may disapprove a proposed development if demand for public services exceeds service levels adopted by the City. No subsequent approval of such development shall be given until either the developer or the City installs improvements calculated to raise service levels to the standard adopted by the City.

Staff Comments: The needed infrastructure improvements are split between the subdivision and site plan approvals. The City Engineer and City Attorney approvals are needed to ensure compliance with this development standard.

Outdoor Lighting:

General Provisions – Outdoor lighting fixtures shall be arranged to direct light away from adjoining residential property.

Lighting fixtures mounted on utility poles shall be fully shielded, cut-off type fixtures that will not allow light dispersion or direct glare to shine above a 90-degree horizontal plane from the base of the fixture.

Detached lighting of signs, buildings and displays shall be directed downward. Up lighting shall be prohibited except as allowed in landscaped areas as part of an approved site plan, conditional use permit, or other plan or permit.

Electrical service to outdoor lighting fixtures shall be underground unless fixtures are mounted directly on utility poles.

Staff Comments: See staff comments in other section regarding compliance with lighting standards. All other expected design elements appear to be in compliance

Street Improvements Required:

Street Improvements Required – No construction shall be permitted on an unimproved lot or parcel unless planned street improvements abutting the lot or parcel, as shown on the Master Street Plan, including without limitation, sidewalk, curb and gutter, parking strips and associated landscaping, street pavement and fire hydrant improvements, are provided simultaneously in conformance with CMC 10.04.150 and applicable Construction Codes. Constructing such improvements shall be a condition precedent to final inspection and occupancy of any building and other improvement on the lot or parcel, subject to the provisions of this Section. Such improvements shall conform to City Standards and Specifications.

Dedication and Construction of Improvements – When widening of a public street is planned, as shown on the Master Street Plan, street right-of-way and frontage improvements associated with proposed development shall be dedicated to the public and improved without cost to the City to the extent the such improvements are roughly proportional to the developer's fair share of needed public improvements, as determined by the Planning Commission after receiving a recommendation from the City Engineer.

Appeal – If a street dedication and improvement requirement is alleged to not be roughly proportional to the demand created by new development, such requirement may be appealed to the Board of Adjustment as provided in CZC 12.21.200.

Staff Comments: The needed infrastructure improvements are split between the subdivision and site plan approvals. The City Engineer and City Attorney approvals are needed to ensure compliance with this development standard.

12.55.220 Swimming Pools:

Swimming pools not enclosed within a building shall be set back at least five feet from all property lines and shall be completely surrounded by a fence or wall having a lockable self-closing gate and a height of at least six feet which conforms to applicable City Standards and Specifications and Construction Code requirements. If the applicable City Standards and Specifications or Construction Codes have a different requirement than the standard set forth herein, the more restrictive standard or requirement shall govern.

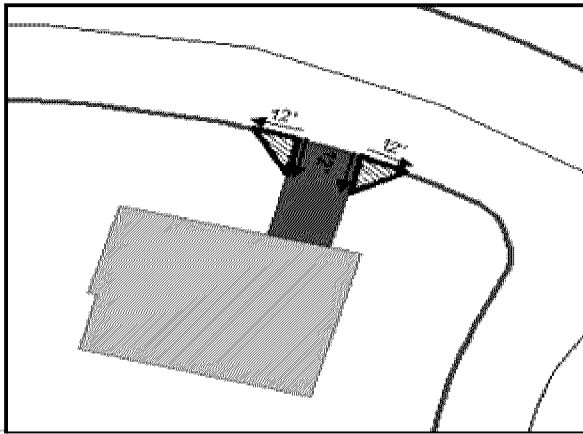
Staff Comments: All expected design elements appear to be in compliance

Visual Obstructions:

To avoid creating a visual obstruction and to promote public safety, a fence, wall, sign, or other similar structure or landscaping located in a required front yard shall meet the following requirements:

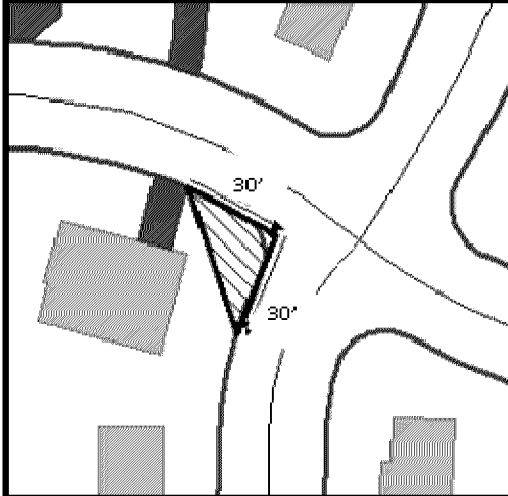
Driveway – No sight-obscuring fence, wall, sign, or other similar structure, or landscaping which exceeds two feet in height shall be placed within a triangular area formed by a driveway line, the street property line, and a line connecting them at points 12 feet along the driveway line and 12 feet along the street property line or back of sidewalk, whichever is greater, except for a reasonable number of trees pruned high enough to permit unobstructed vision for drivers of motor vehicles.

Figure 1. Driveway Sight Triangles



Clear View of Intersecting Street – In all zones, no fence, wall, sign, or other similar structure, or landscaping which exceeds two feet in height shall be placed on any corner lot within a triangular area formed by the street property lines and a line connecting them at points 30 feet from the intersection of the street curb lines, except for public safety signs and equipment. Tree canopies pruned to seven feet above grade are permitted provided no tree trunk shall be located inside the clear view area. Trees existing as of the date of adoption of this Ordinance with trunks located within the clear view area defined herein may remain at the discretion of the City based upon safety and visibility standards but may not be replaced once removed.

Figure 2. Street Intersection Sight Triangles.



Staff Comments: All expected design elements appear to be in compliance

OTHER APPLICABLE DEVELOPMENT MATTERS

Future Round About Design – Early in the conceptual design stages, the City Engineer echoed the need for a round-about at 500 North/1250 West. The round-about was originally proposed in the Master Transportation Plan generated by the Legacy CDA provisions adopted by the City's RDA. The developer has provided the necessary design plans for the round-about. However, since that time, the City, as part of larger traffic study connecting 1250 West to Farmington, asked the hired consultant to re-evaluate the proposed round-about design. This updated study recommends the elimination of the round-about and recommends expanding/widening the travel lane area instead. Consequently, the developer and City Engineer are currently adjusting the design plan. This will move the park-strip and pedestrian path further to the west, placing the pedestrian path along the edge of the property (rather than in the R-O-W). Additionally, the pedestrian easement will likely be needed for the pathway. These design changes are underway, as of the writing of the report.

PLANNING STAFF RECOMMENDATION

Building Architecture Matter – As stated earlier, staff does not believe the final site plan submittal depicting the building design, materials, and colors are consistent with the expectations of the PDO Concepts. Below is our reasoning:

[PDO Language] The **Architecture and Building Design Theme** shall consist of the following:

- A Shorelands Commerce Park color palate or other tones deemed compatible with the surrounding development, as approved with a final site plan.
- The residential design shall be consistent with the submitted Denver based project (*Aster Town Center*) concepts consisting of a low slope-roof (*an adapted contemporary prairie style*) building architecture meeting the approved PDO color palette.

Staff Comment: Let's first address the Shorelands Commerce Park Color Palate. This palate was adopted in response to the design of the Legacy Parkway. The surrounding cities of the parkway developed a "model ordinance" to preserve the "upland environment" theme of parkway as development occurs next to the parkway. The use of colors and materials of the SCP Zone are expected to meet the following principle:

Principle #3 - Natural or Natural Appearing Materials. The natural or natural appearing materials of the shoreland theme are:

- Use of natural materials, such as stone, and wood with suitable textures and colors
- Use of decorative concrete or block, with suitable durability, textures and colors
- Use of detail and accents, with suitable textures and colors
- Use of hard surfacing with suitable textures and colors or substituting with crushed gravel surfaces
- Use of subtle, non-reflective colors and stains

Past and the current PDO approvals in around the interchange have been approved using this SCP palate expectation or at least a compatible variation. It is staff's position that the use of the white and silver colors is NOT listed or compatible of the SCP Theme. Furthermore, the applied use and style proposed is not typical residential style, but more of an institutional/contemporary building design. Such design is not supportive of an "upland" design of the parkway or the SCP Zone.

Now, let's take a look at the Denver-based Astor Town Center design approved in the PDO Concept design. The Astor Town design has a prominent use of warm colors and earth-toned hues. It is staff's opinion that such use of these colors and hues are much more compatible with a residential development and more reflective of an "upland" theme. Additionally, the larger "prairie-style" roof overhangs add to the "environmental" appearance of the buildings. Such overhangs and roof elements are starkly missing on the proposed design submitted with the Final Site Plan.

Staff would recommend tabling the matter and direct the applicant to re-address the proposed building design, materials and colors to be more in line with the PDO approval concepts. However, if the Planning Commission disagrees, then below is our recommendation for moving forward:

Suggested Motion for the Final Site Plan regarding the PDO allowed Residential Uses for the LEGACY COMMONS DEVELOPMENT located at 1250 West and Parrish Lane: I hereby make a motion for the Planning Commission **GRANT FINAL SITE APPROVAL** for the Legacy Commons Development, with the following conditions:

1. *The Final Site Plan Approval is limited to the Residential Uses (111 Dwelling units) as permissible within the Legacy Commons PDO Approval and Conceptual Plan (also known as Lot 1, Legacy Commons Subdivision).*
2. *The Final Site Plan Approval is subject to the layout and exhibits submitted to the City August 08, 2018 – Consisting of PDO Exhibits C-10, D- through D-2, L-1 through L-5, and Exhibit G for Phase 2 (residential) and Phase 3 (remain undeveloped), and/or amended by this approval. Note: Phase 1 is a separate lot (also known as Lot 2, Legacy Commons Subdivision) and is required to seek a separate approval from the City.*
3. *The Final Site Plan Approval shall be subject to Ordinance 2017-29 – Section 2.e requiring that the developer must obtain a building permit for the Hotel (i.e. Lot 2) and pour the required foundation for such structure prior to the issuance of any building permit for any Residential Buildings.*
4. *The Final Site Plan Approval shall be subject to the project required infrastructure improvements to support the development project either through the recording and bonding requirements of the applicable to the previous subdivision approval or as required by City Ordinance for site plan approval. The City Engineer and City Attorney shall review this matter and determine compliance with City Ordinances prior to recordation of the applicable plat or any further related issuance of an approval or permit.*
5. *The Final Site Plan shall be amended to reflect the 1250 West public right-of-way alterations by removing the “future round-about” layout and adding the 1250 West Roadway expansion, as recommended by the City’s Independent Traffic Study. The Pedestrian Path shall be re-located (if needed provide a pedestrian easement) to the west along with any pedestrian streetlighting to maintain the expected park strip landscaping, as shown on the landscaping plans. This re-design shall be reviewed and seemed acceptable by the City’s Public Works Director and City Engineer, as part of any subdivision or site plan improvements bond.*
6. *The Landscaping Plan shall be amended to address the ordinance requirements of “less than 75% of softscaped landscaping area should be planted in turf or high water-use plants” and the 10% interior parking lot landscaping. These changes shall be submitted and verified by Staff prior to the issuance of any building permit related to the construction any residential building.*
7. *Furthermore, the Landscaping Plan shall be amended to address the installation of the landscaping verses the construction of the buildings (a phasing installation plan). The developer may post the required landscaping bond for all of the required landscaping or may post a separate bond for each installation phase, if phasing plan is submitted. If phased, the phasing plan shall be deemed acceptable by the City Staff. The release of the bond(s) may be scheduled accordingly upon inspection of the landscaping. The installation of the landscaping may be delayed due to weather constraints, as defined in the Zoning Ordinance.*

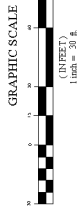
8. *The required pedestrian scale lighting (required by the Parrish Lane Gateway Design Guidelines) shall be provided, along 1250 West, at an average interval of 90 feet or less. At no time shall there be a space between light fixtures larger than 100 feet or less than 80 feet. The style and height of the light fixtures shall be uniform along the entire length of the streetscape area and shall conform to the standards set forth by City Code and shall be reviewed and verified by the City's Public Works Director or City Engineer as part of any subdivision or site plan improvements bond.*
9. *All rooftop equipment and satellite dishes for all residential development shall be screened so as to not be visible from the nearest public street and shall be integrated with the building or landscaping design. Additionally, all trash receptacles shall be screened from view by a wall or fence which is at least six feet in height; provides complete visual screening of the receptacle; and is compatible in material and color with the main building on the lot or parcel. These matters shall be addressed with the building permit submittals to the City and shall be verified by the City Staff as part of the issuance of any permit.*
10. *The developer shall address the use and limitations of any RV parking with the CC&R's for the subdivision and/or provide notice to all residential tenants of such restrictions. Such use a limitation shall be that the outside storage of Recreational Vehicles (RVs) for dwellings or in the common space areas for longer than 48 hours shall be prohibited.*
11. *If there is a dispute regarding the interpretation or implementation of these conditions of approval by City Staff, the developer shall make a written request and appear before the City's Planning Commission for resolution, prior to filing for any "appeal of decision" to the City's Board of Adjustment.*

Suggested Reasons for the Action (Findings):

- a) *The Planning Commission finds that the Final Site Plan is in harmony with the West Centerville's Neighborhood Plan's to allow future residential and commercial development in a mixed-use format, as envisioned with the C-VH/PD Zoning granted to the property.*
- b) *The Planning Commission finds that the Final Site Plan request, with the listed conditions, substantially reflects the Legacy Commons PDO Development Approval as defined in Ordinance 2017-29.*
- c) *The Planning Commission finds that the Final Site Plan, with the listed conditions, provides sufficient compliance with regards to the project's design and amenities requirement for the Parrish Lane Gateway Design Guidelines, or as altered by the applicable PDO approval.*
- d) *The Planning Commission finds that the Final Site Plan, with the listed conditions, provides sufficient compliance with applicable Off-street Parking and Loading Standards.*
- e) *The Planning Commission finds that the Final Site Plan, with the listed conditions, provides sufficient compliance with applicable Landscaping & Screening Standards.*

- f) The Planning Commission finds that the Final Site Plan, with the listed conditions, provides sufficient compliance with applicable Supplementary Development Standards.*

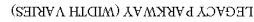
CENTERVILLE
SITE PLAN



TABULATIONS:

NORTH
ROW WIDTH)[illegible]

3" ASPHALT
9" ROAD BASE
2.00%

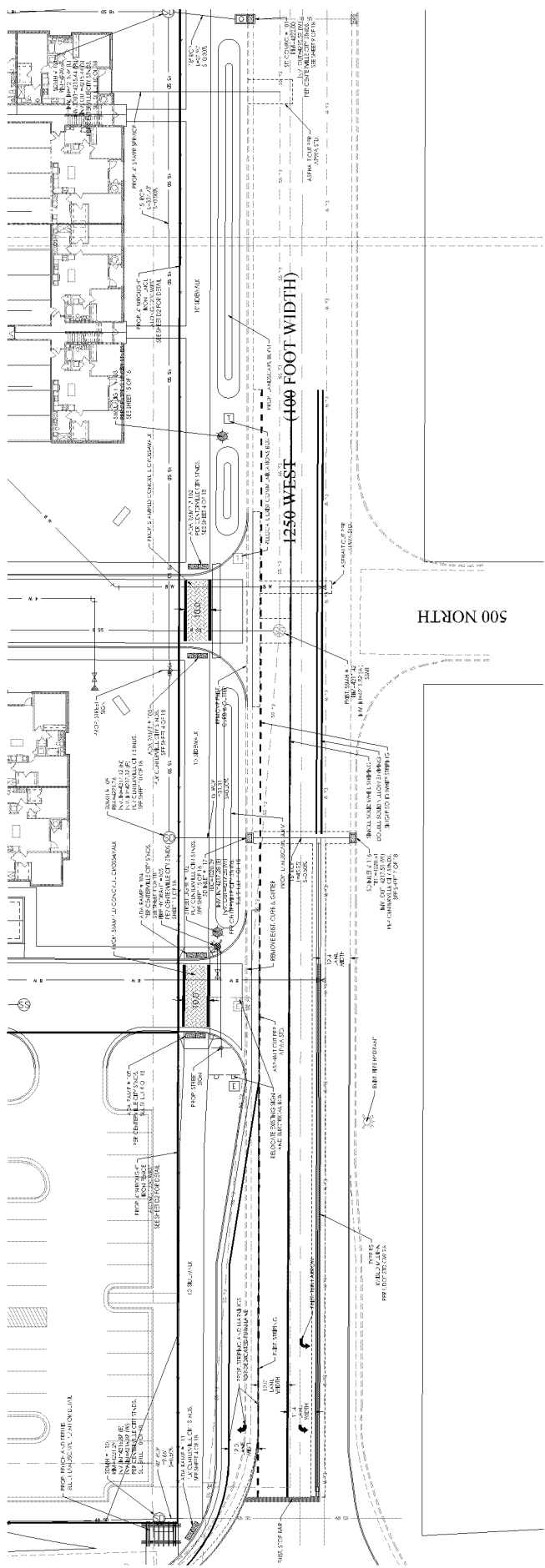


SEE SHEET C9 FOR 1250 WEST
IMPROVEMENTS

LEGACY COMMONS SUBDIVISION
CENTERVILLE
1250 WEST PUBLIC IMPROVEMENTS



FOCUS
ENGINEERING AND SURVEYING, LLC
33 WEST CENTER STREET
MIDVALE, UTAH 84047 PH: (801) 353-0075
www.focusllc.com

[illegible]

	<i>Acer platanoides</i> 'Parway' Parway Maple 2° cal. (3 total)		<i>Cercis canadensis</i> 'Forest Pansy' Eastern Redbud 2° cal. (15 total)
	<i>Gladiolus</i> 'Shademaster' Shademaster Honeylocust 2° cal. (29 total)		<i>Malus</i> 'Noyal Handbags' Noyal Handbags Crab 2° cal. (18 total)
	<i>Tilia cordata</i> 'Greengold' Greengold Linden 2° cal. (8 total)		<i>Pinus virginiana</i> 'Canada Red' Canada Red Chinchery 2° cal. (6 total)
	<i>Zelkova serrata</i> 'Green Vase' Green Vase Zelkova 2° cal. (4 total)		<i>Pyrus calleryana</i> 'Chantrelle' Chantrelle Flowering Pear 2° cal. (21 total)
	<i>Pinus laeodermis</i> 'Haldreich' Bonnie Pine 6 ft. (8 total)		

LANDSCAPE NOTES:

1. AREAS WILL BE SPOKED WITH KENTONVUE BLUEGRASS BLEND OVER 4 ROWS' 0000 GRADE TOPSOIL.
2. ALL PLANTING BEDS WILL HAVE 3" DARK BROWN LONG STRAND SHEPHERD BARK MULCH.
3. INSTALL 6" PVP CONCRETE EDGING 2" THICK, MOUNTAIN HORN 4" DEEP OF 1500 MESH STREET.
4. INSTALL 6" PVP CONCRETE EDGING 2" THICK MOUNTAIN HORN 4" DEEP OF 1500 MESH STREET.
5. TOP DRESS PARK STRIP AREAS ALONG 1250 MESH STREET WITH 1" DEEP OF 1500 MULCH TO MATCH ROWS MULCH USED IN PARK STRIP TO THE SOUTH.
6. TOP DRESS 1500 MESH STREET WITH 1" DEEP OF 1500 MULCH.
7. AFTER PRE-EMERGENT HAS BEEN APPLIED, 3" WED BARRIER FABRIC, 1" FABRIC SHALL BE INSTALLED OVER THE PRE-EMERGENT.
8. INSTALL 3" DEEP OF 1" RAINBOW COBBLE 6" DEEP OVER WED BARRIER FABRIC IN DRY CREEK BED.
9. AFTER PRE-EMERGENT HAS BEEN APPLIED, CRYSTAL DEPRESSION TO REFLECT A DRY CREEK BED.

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

[illegible]

et al.

et al.





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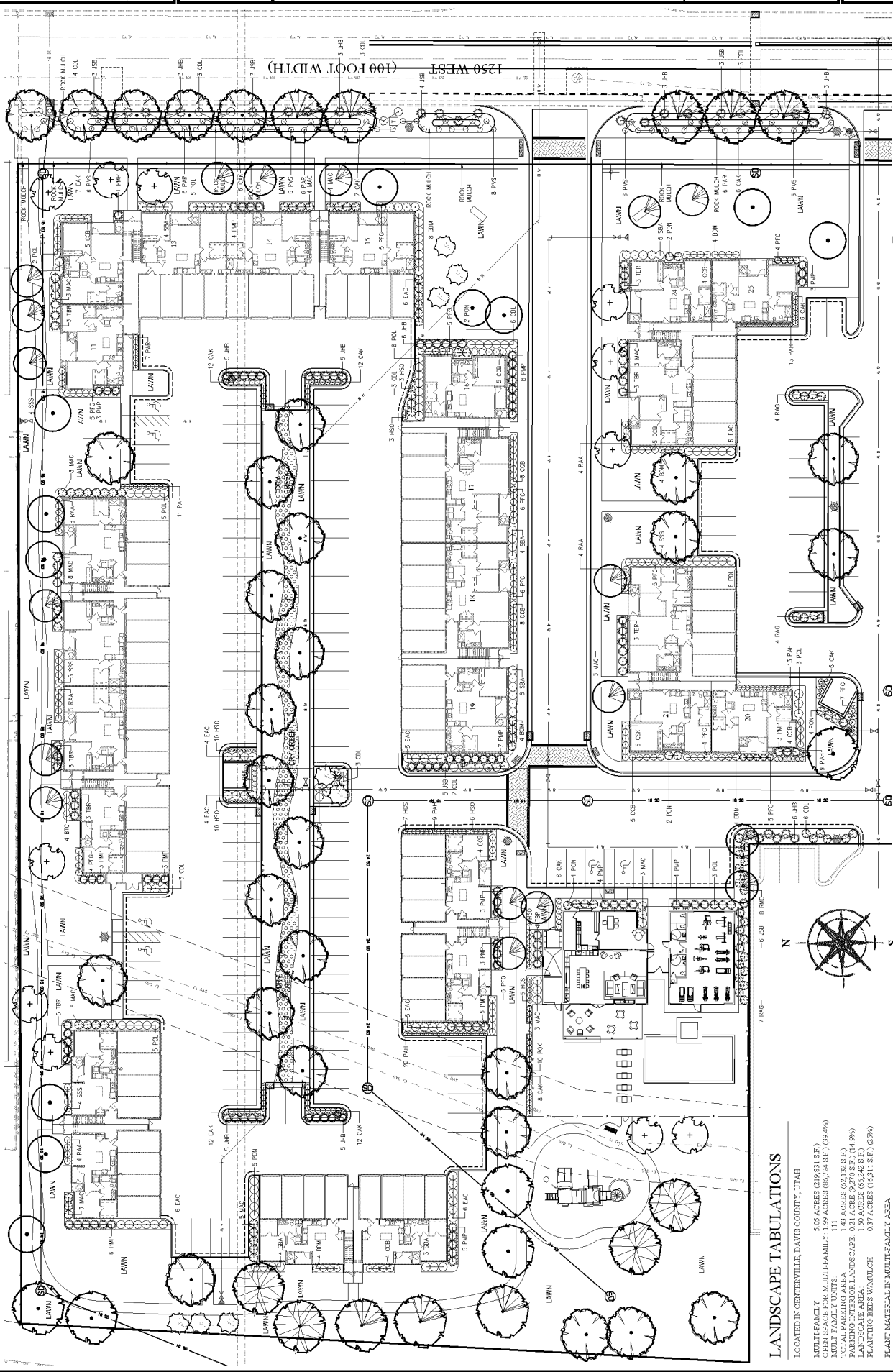
LANDSCAPE PLAN CENTERVILLE LEGACY COMMONS SUBDIVISION

NO.	DATE	DESCRIPTION
1	07/11/13	15% PLAN
2	07/11/13	30% PLAN
3	07/11/13	60% PLAN
4	07/11/13	90% PLAN
5	07/11/13	100% PLAN

LANDSCAPE PLAN

DATE: 07/11/13
 SCALE: 1"=20'
 SHEET: 17.415

1.2



LANDSCAPE TABULATIONS

LOCATED IN CENTERVILLE, DAVIS COUNTY, UTAH

MULTI-FAMILY: 5.05 ACRES (219,81 S.F.)
 OPEN SPACE FOR MULTI-FAMILY: 1.99 ACRES (86,724 S.F.) (39.4%)
 TOTAL PARKING AREA: 1.91 ACRES (82,132 S.F.)
 PARKING INTERIOR LANDSCAPE: 0.21 ACRES (9,270 S.F.) (14.9%)
 LANDSCAPE AREA: 1.50 ACRES (65,242 S.F.)
 PLANTING BELLS W/MULCH: 0.37 ACRES (16,311 S.F.) (23%)
 PLANT MATERIAL IN MULTI-FAMILY AREA:
 TREES: 84
 PERENNIALS: 1,111
 SHRUBS: 502
 PERENNIALS & ORNAMENTAL GRASSES: 225
 SHRUBS REQUIRED: 222
 CNFEED: 1
 SUBSTITUTE 27 (25%) TREES FOR 270 ADDITIONAL SHRUBS



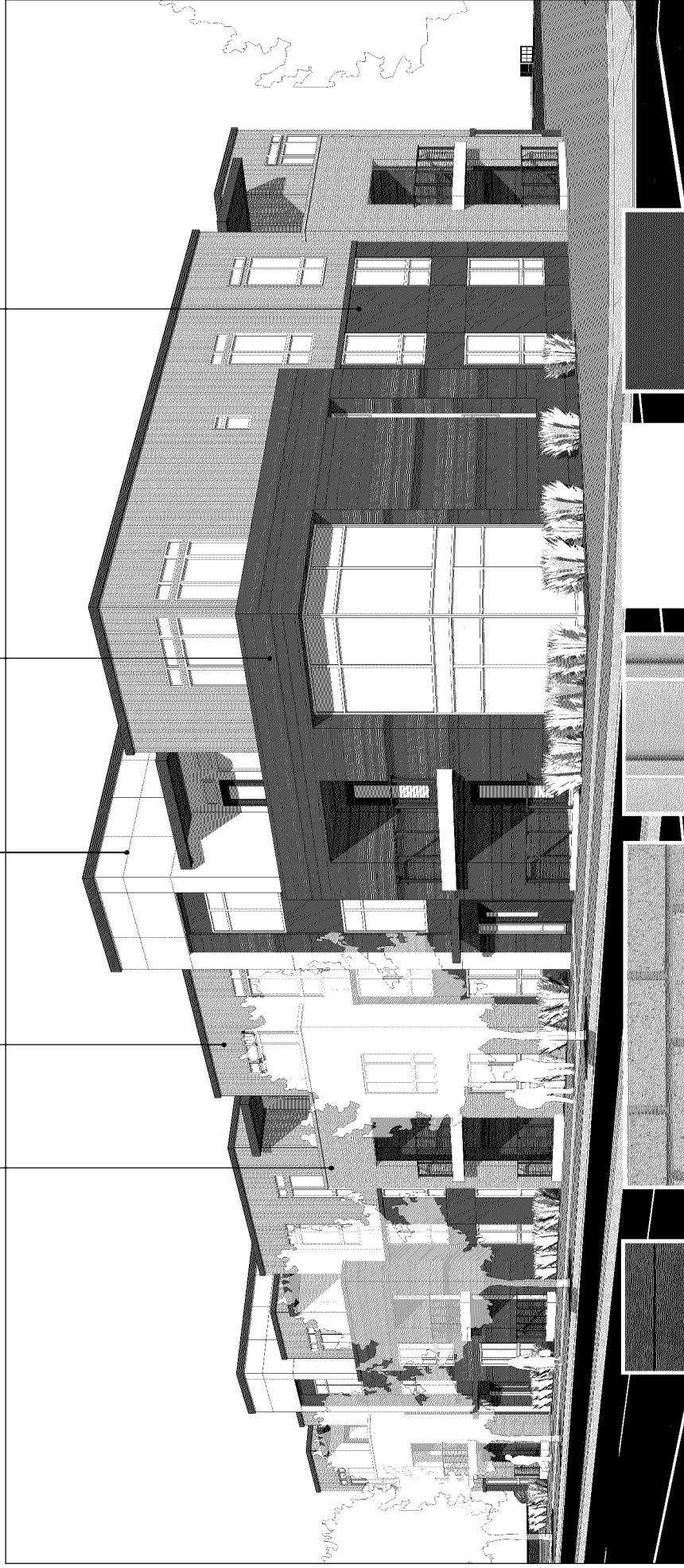
BRICK VENEER

FIBER CEMENT PANEL RIBBED

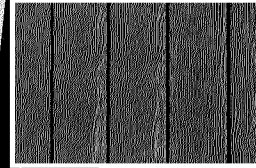
FIBER CEMENT PANEL LIGHT

FIBER CEMENT PANEL WOOD GRAIN

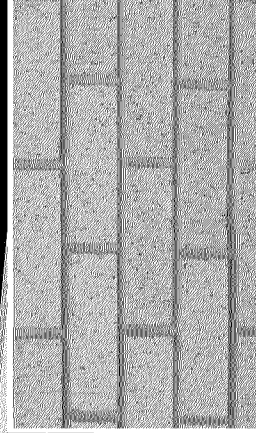
FIBER CEMENT PANEL DARK



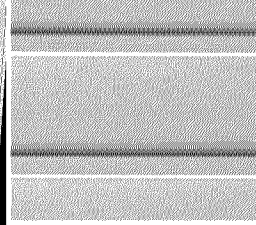
Fiber Cement Panel Wood Grain
Allura
Wood Tone (Cedar)



Brick Veneer
Hydrex Brick
(Toasted Gray)



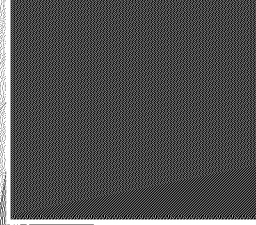
Fiber Cement Panel Ribbed
James Hardie
Sherwin Williams (SW 7027 Silver Strand)



Fiber Cement Panel Light
James Hardie
Sherwin Williams (SW 7009 Snowbound)



Fiber Cement Panel Dark
James Hardie
Sherwin Williams (SW 7020 Black Fox)



Architecture + Planning

820 18th Street, Suite 500
(303) 825-6400
kggy.com



Wright Development Group
1178 W. Legacy Crossing Blvd.,
Ste. 100
Centerville, Utah 84014

MATERIAL BOARD - SOUTH ELEVATION PERSPECTIVE

MARCH 7, 2018

CENTERVILLE APARTMENTS
CENTERVILLE, UTAH
#2017-0812

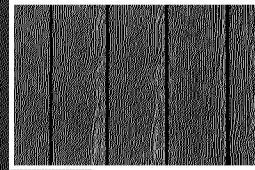


FIBER CEMENT PANEL DARK

FIBER CEMENT PANEL RIBBED

FIBER CEMENT PANEL LIGHT

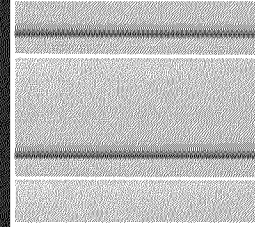
FIBER CEMENT PANEL WOOD GRAIN



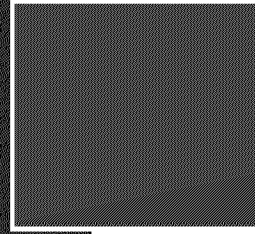
Fiber Cement Panel Wood Grain
Allura
Wood Tone (Cedar)



Brick Veneer
Hydron Brick
(Toasted Gray)



Fiber Cement Panel Ribbed
James Harpole
Sherwin Williams (SW 7027 Silver Strand)



Fiber Cement Panel Dark
James Harpole
Sherwin Williams (SW 7020 Black Fox)

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MARCH 7, 2018

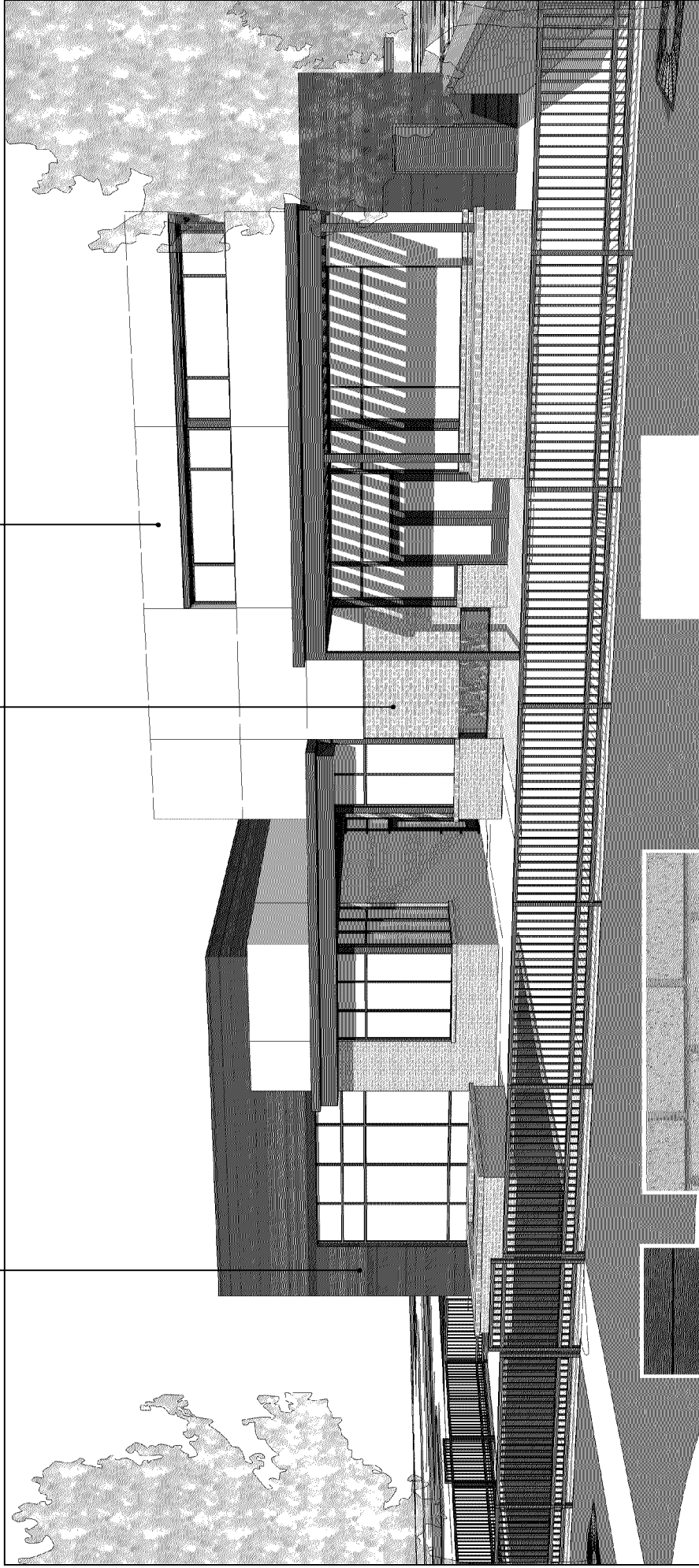
CENTERVILLE APARTMENTS
CENTERVILLE, UTAH
#2017-0812



FIBER CEMENT PANEL WOOD GRAIN

BRICK VENEER

FIBER CEMENT PANEL LIGHT



Fiber Cement Panel Wood Grain
Allura
Wood Tone (Cedar)

Brick Veneer
Hudson Brick
(Roasted Gray)

Fiber Cement Panel Light
James Hardie
Sherwin Williams (SW 7009 Snowbound)



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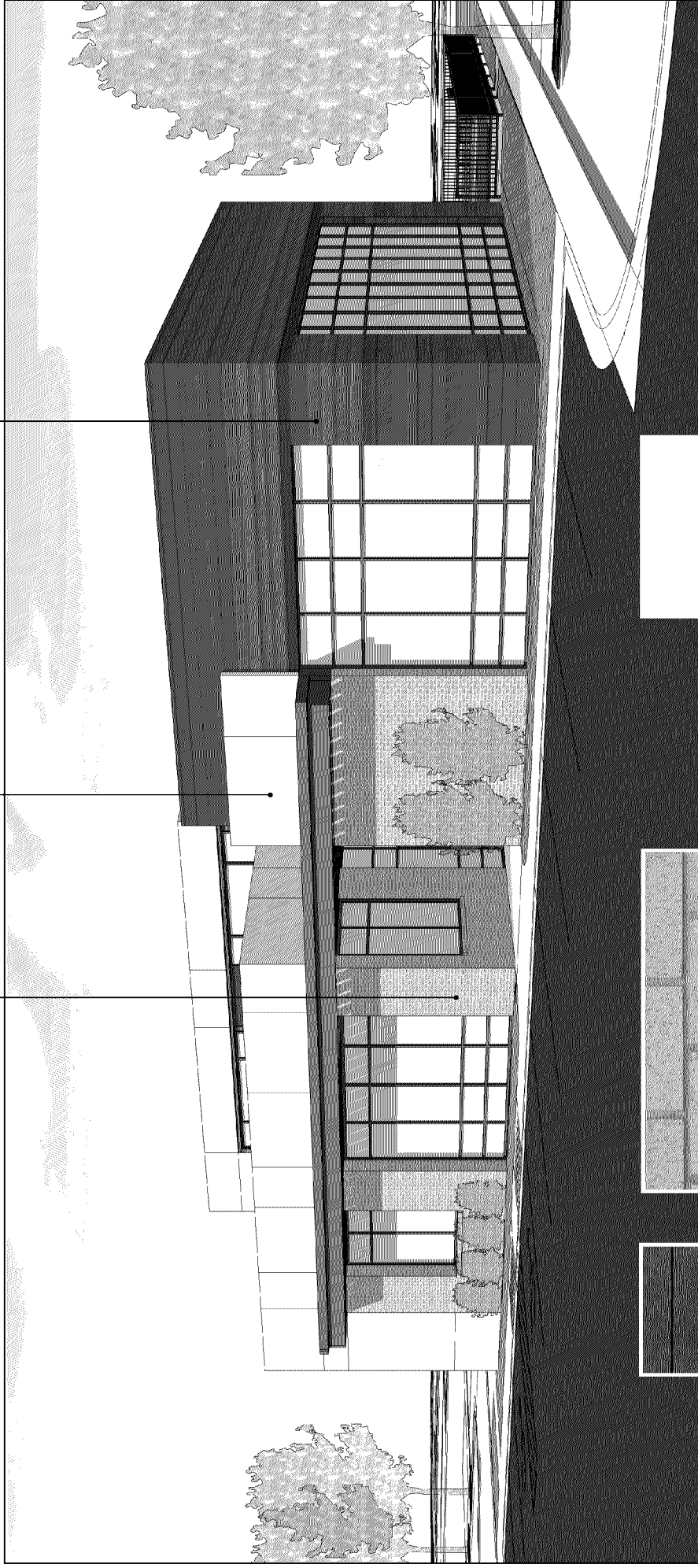
MARCH 7, 2018

CENTERVILLE APARTMENTS
CENTERVILLE, UTAH
#2017-0812

BRICK VENEER

FIBER CEMENT PANEL LIGHT

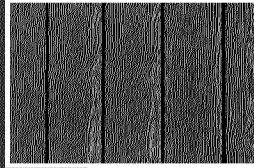
FIBER CEMENT PANEL WOOD GRAIN



Brick Veneer
Hickory Brick
(Toasted Gray)



Fiber Cement Panel Wood Grain
Allura
Wood Tone (Cedar)



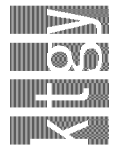
Fiber Cement Panel Light
James Hardie
Sherwin Williams (SW 7009 Snowbound)



Wright Development Group
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Ste. 100
Centerville, Utah 84014

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MARCH 7, 2018

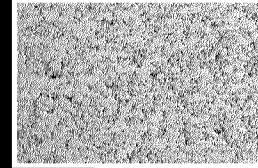
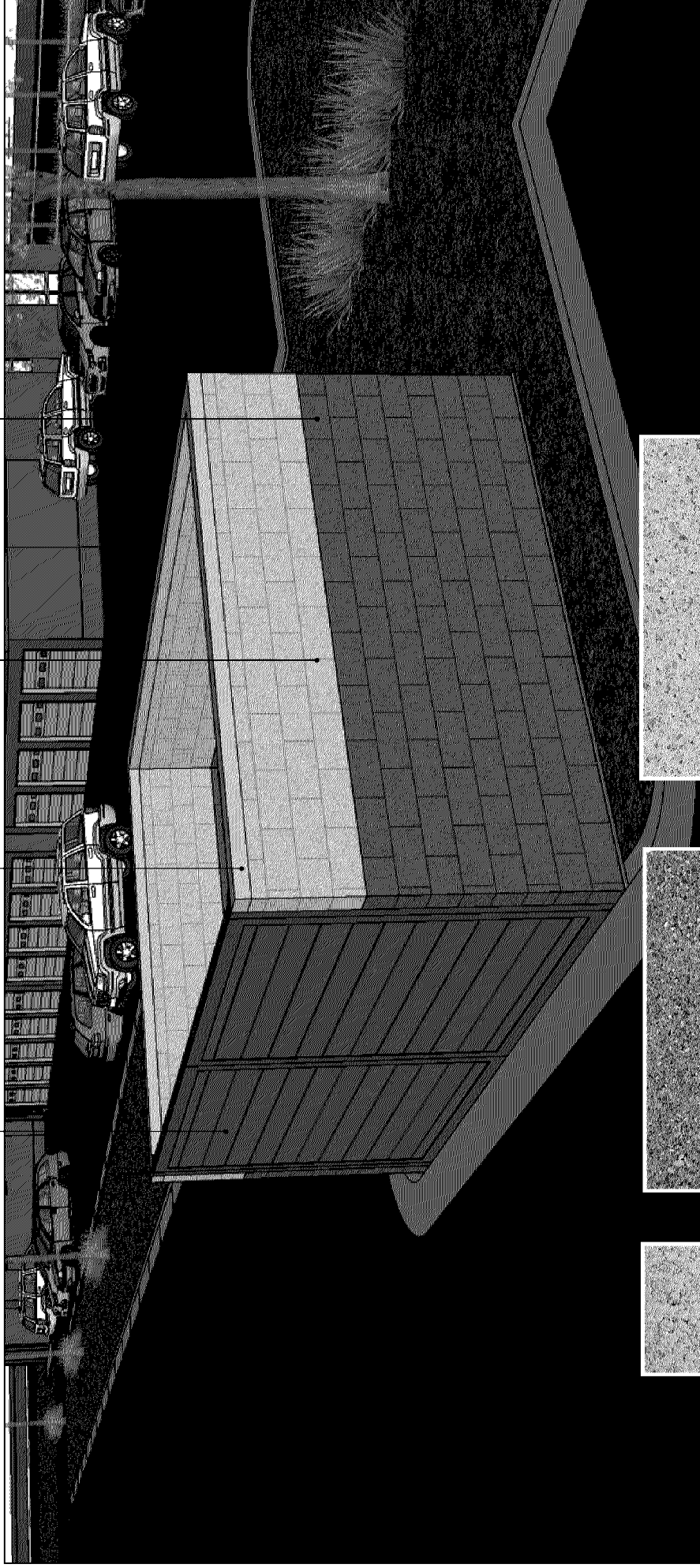
CENTERVILLE APARTMENTS
CENTERVILLE, UTAH
#2017-0812

TUBE STEEL METAL GATE - PAINTED
SWT7020 BLACK FOX

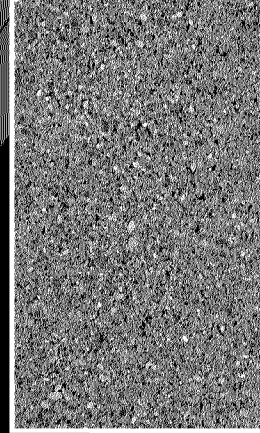
STOCK 225 CMU CAP

PREMIUM 205 GROUND FACE CMU

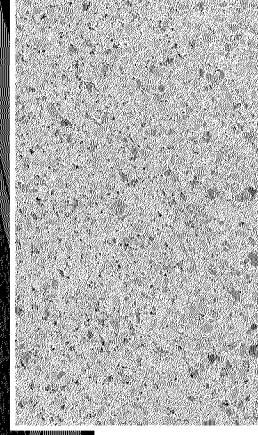
STANDARD 790 GROUND FACE CMU



Concrete Masonry Unit Cap
Basaltite
Stock 225 (Gray)



Concrete Masonry Unit
Basaltite
Standard 790 (Ground Face)



Concrete Masonry Unit
Basaltite
Premium 205 (Ground Face)

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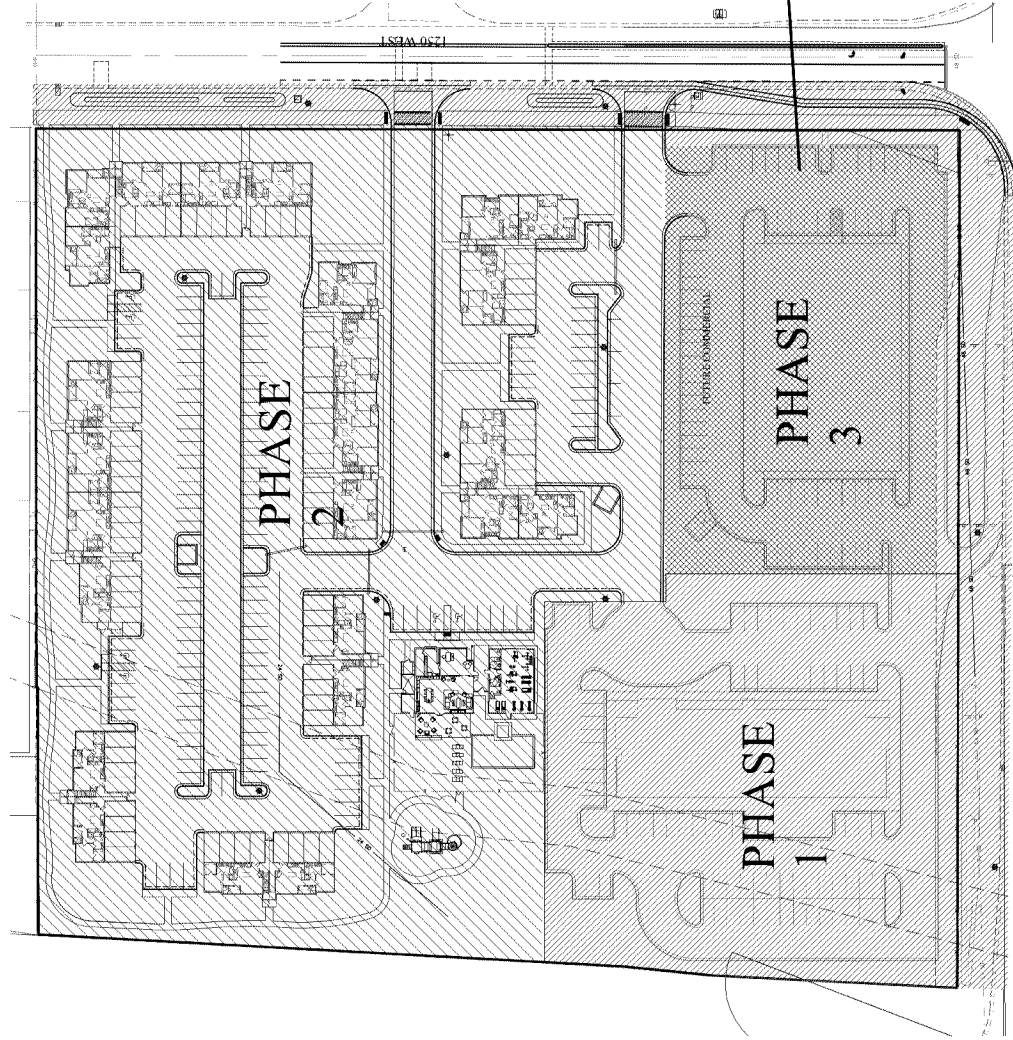
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Ste. 100
Centerville, Utah 84014



MARCH 7, 2018

CENTERVILLE APARTMENTS
CENTERVILLE, UTAH
#2017-0812

VICINITY MAP



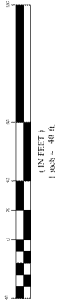
- The commercial pad in phase 3 will be maintained with seeded vegetation and weed control per city recommendations.



PARRISH LANE (WIDTH VARIES)

SITE MAP

GRAPHIC SCALE

PHASIN
G

Age	1-40	1944
VC	050418	17-476

LOCK

XXXXXXXXXXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXXXXXXXXXX

XXXXXXXXXXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXXXXXXXXXX

XXXXXXXXXXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXXXXXXXXXX

XXXXXXXXXXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXXXXXXXXXX

LEGACY COMMONS SUBDIVISION
CENTERVILLE
PHASING

FOCUS 
ENGINEERING AND SURVEYING, LLC
32 WEST CENTER STREET
MIDVALE, UTAH 84047 PH: (801) 352-0075
WWW.FOCUSLLC.COM

**CENTERVILLE
PLANNING COMMISSION
Staff Backup Report
9/12/2018**

Item No. 5.

Short Title: Public Meeting - Final Site Plan - South Davis Metro Fire Station, 300 South Main Street

Initiated By: Jeff Bassett, South Davis Metro Fire

Scheduled Time: 8:30

SUBJECT

ADMINISTRATIVE DECISION

Consider the proposed Final Site Plan for the South Davis Metro Fire Station at 300 South Main Street.

RECOMMENDATION

Refer to Staff Report

BACKGROUND

Refer to Staff Report

ATTACHMENTS:

Description

- 09-12-2018 SDMFD Fire Station Final Site Plan
- SDMFD Fire Station FSP Submittal
- Fire Station Parking Modification Submittal
- Fire Station Materials

**CENTERVILLE CITY
COMMUNITY DEVELOPMENT DEPARTMENT
655 North 1250 West, Centerville, Utah 84014
(801) 292-8232**

**STAFF REPORT
AGENDA: ITEM 5**

APPLICANT: **SOUTH DAVIS METRO FIRE DISTRICT
C/O CHIEF JEFF BASSETT
P.O. BOX 1547
BOUNTIFUL, UTAH 84010
(jbassett@sdmetrofire.org)**

PROPERTY: **300 SOUTH MAIN STREET
(EXISTING VACANT LOT)**

ACREAGE: **1.14 ACRES**

ZONING: **COMMERCIAL-MEDIUM, SOUTH MAIN STREET
CORRIDOR (SMSC) OVERLAY DISTRICT ZONE**

APPLICATION: **FINAL SITE PLAN APPROVAL FOR NEW CENTERVILLE
FIRE STATION**

RECOMMENDATION: **CONSIDER APPROVING THE FINAL SITE PLAN AND
THE REQUEST FOR A PARKING MODIFICATION**

BACKGROUND

The applicant desires to construct a new fire station in Centerville City. The Fire Department has recently purchased land located at 300 South Main Street. The property is currently vacant (previous Pineae Gardens site). The petitioner has indicated that in order to accommodate the design and building function of the new fire station, some amendments to the regulations of the South Main Street Corridor Overlay District are needed. The proposed amendments were recently adopted by the City Council. Additionally, the applicant is also seeking parking modification, which is also being reviewed in this report.

PREVIOUS CONCEPTUAL SITE PLAN ACCEPTANCE DIRECTIVES

- 1. This SDMFD Conceptual Site Plan Acceptance is subject to the City Council adopting the requested zone text amendments proposed by the Fire District or as modified, AND*

2. *If the proposed text amendments are rejected, this conceptual acceptance becomes null and void and shall return the Commission for further review and decision, AND*
3. *If the proposed amendments are adopted and/or modified, the applicant may proceed to Final Site Plan submittal and make the necessary adjustments as part of Final Site Plan Review.*

STAFF COMMENT – City Council passed the requested amendments

4. *The applicant shall prepare and submit a Final Site Plan submittal meeting the requirements for application and site plan documents and exhibits.*

STAFF COMMENT – Final Site Plan submittal was received and reviewed by the Development Review Committee.

5. *As part of the Final Site Plan preparation, the applicant shall address the following:*
 - (a) *Provide the missing a dimensional tabulation for the Civic Use Lot Type.*
 - (b) *Comply with the entrance spacing requirement, or as amended*
 - (c) *Comply with the RBL fontange width requirements, or as amended*
 - (d) *Address the south side 15-foot side yard spacing or provide a “unified gather area.”*
 - (e) *Comply with the street-level floor elevation shall be no more than 12 inches above the fronting sidewalk elevation, or as amended*
 - (f) *Address the missing the window design notation or expectation for the clear glass requirement.*
 - (g) *Comply with the “new driveway” limitations, or as amended*
 - (h) *Provide the required 34 parking stalls or seek a “specific user” parking modification.*
 - (i) *Comply with the Civic Lot Type height limitation of 40’ from grade of Main Street, as shown in 12.48.350*

STAFF COMMENT – The Final Site Plan is proposing an alternative “plaza” treatment that now consists of decorative score patterned concrete (rather than colored), which incorporates a serpentine walkway and creates a historic monument area to function as the “unified gathering area.”

Note: at the City Council meeting, the Council Members expressed their resistance to requiring a “plaza” and “gathering area,” and expressed their intention to initiate or have the Fire District initiate further amendments to remove these features.

All other matters appear to be completed

6. *As part of the Final Site Plan preparation, the applicant shall prepare a professional landscaping plan for the site that also addresses the following:*
 - (a) *Compliance with the total site tree requirement*

- (b) Compliance the street frontage tree requirement*
- (c) Compliance with the 50% building foundation landscaping requirement*
- (d) Compliance the required interior parking lot landscaping*
- (e) Compliance with the buffering requirement of 15 feet next to a residential zone”*

STAFF COMMENT – They are utilizing the allowable substitution of three (3) street trees with the required shrub count. All other matters appear to be in compliance.

OTHER FINAL SITE PLAN MATTERS

Parking Calculation – The applicant is seeking a modification to the parking requirements. The request asks the Commission to recognize that the “government service” calculation is related to office type conditions and that the Fire Station consists of several uses, which are dormitory, training rooms, and an apparatus bay. Additionally, the applicant has provided a parking comparison of other Fire Stations located in Utah Communities. Their request is as follows:

*“OPERATIONS CENTER The requirement is 4 spaces, plus 1 space per employee on highest shift.
We have 6 fire fighters live at this station.
6 employees + 4 extra spaces = 10 spaces required.
AUDITORIUM without fixed seating The requirement is 1 space per every 100 SF.
We have a 737 sf classroom x 1/100 sf = 8 required spaces.
TOTAL PARKING SPACES REQUIRED 18 SPACES
TOTAL PARKING SPACES PROVIDED 18 SPACES”*

Parking Space Study. *When a parking space study is required for a particular use shown in Section 12.52.300, or when an applicant requests a modification in the number of parking spaces required under CZC 12.52.080, a parking study shall be provided by the applicant which recommends an adequate number of parking spaces and sets forth the basis of the recommendation.*

1. The study shall provide:

- (a) Planning and traffic engineering data, including estimates of parking demand based on recommendations from the Institute of Parking Engineers;*
- (b) Data collected from uses or combinations of uses that are the same or comparable to the proposed project as indicated by density, scale, bulk, area, type of activity, and location;*
- (c) The source of data used to develop the study’s recommendations; and*
- (d) The name and qualifications of the persons who prepared the study.*

2. The Planning Commission shall determine the required number of parking spaces after:

- (a) Considering the recommendations of the parking study and any recommendations from City staff; and*
- (b) Making the findings required under Subsections (c) or (d), as the case may be.*

STAFF COMMENT –The provided request does NOT contain an ITE estimate. However, the modification only lists this a one (1) of the elements to consider. After reviewing the request, Staff believes that the request is reasonable and would support the approval of the requested modification to require 18 parking stalls.

PLANNING STAFF RECOMENDATION

[Motion # 1] Parking Modification – I hereby make a motion for the Planning Commission to APPROVE A PARKING MODIFICATION, as follows:

1. *The Parking requirement for the SDMFD Centerville Station shall be 18 Parking Stalls*

SUGGESTED REASONS FOR THE ACTION:

- (a) *The Planning Commission finds that the “government service” calculation is predominately related to office type use parameters.*
- (b) *The Planning Commission finds that Fire Station consists of several uses, which are dormitory, training rooms, and an apparatus bay, which differ from a typical office use parking demand.*
- (c) *The Planning Commission finds that the applicant has provided a parking comparison of other Fire Stations located in Utah Communities, which better reflects the needed demand for a Fire Station use.*

[Motion # 2] Final Site Plan – I hereby make a motion for the Planning Commission to APPROVE the Final Site Plan for the Centerville Fire Station, as follows:

1. *The Final Site Plan approval is for the Centerville Fire Station located at approximately 300 South Main Street.*
2. *The development of the site shall comply with the Final Site Plan submittal received by the City and dated September 07, 2018, which consists of SP101, A200, C-1 through C-5, and L-1 through L-6.*
3. *The Final Site Plan shall comply with the approved Parking Modification by providing 18 parking stalls.*
4. *The applicant shall provide the applicable ordinance easements for utility services, as approved by the City Engineer and City Attorney. Such easements shall be accepted by the City prior to final occupancy of the building.*
5. *The applicant shall post the applicable “improvements” and “landscaping bonds and related fees, as require by City Ordinance.*
6. *The applicant shall schedule and attend a “pre-construction” meeting with the City Engineer, prior to commencement of any construction or development activity for the site.*

SUGGESTED REASONS FOR THE ACTION:

- a. *The Planning Commission finds that with the conditions of approval, the proposed development will meet the applicable General Development Standards developing a Fire Station [Chapters 12-34, 12-51, 12-52].*

- b. *The Planning Commission finds that with the conditions of approval, the proposed development will meet the applicable development provisions of the South Main Street Corridor Overlay Zone [Chapter 12-48].*



PROJECT NUMBER 18221

NEW CENTERVILLE
STATION #83
SOUTH DAVIS METRO FIRE

343 S. MAIN STREET, CENTERVILLE, UT

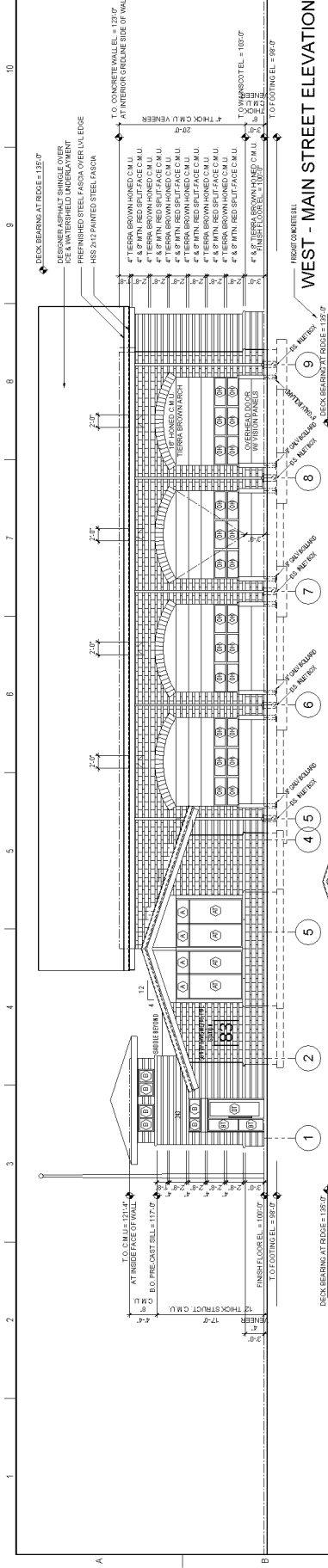
EXTERIOR
ELEVATIONS

FTG. & FND. ONLY
BID PACK #1 SEP. 7, 2018

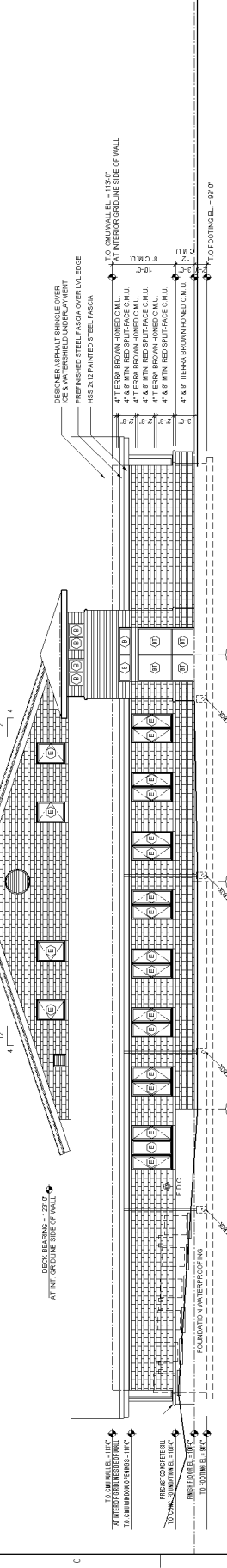
A200

SOUTH APPARATUS BAY ELEVATION

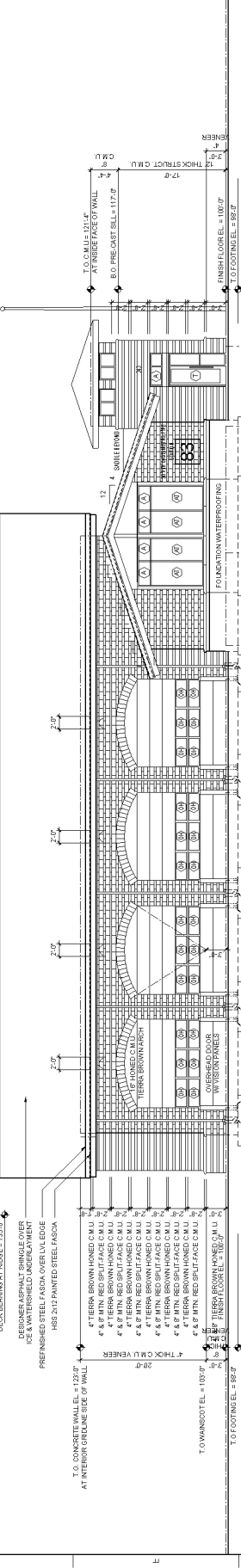
EXTERIOR GLASS SCHEDULE	GLASS SYSTEM
1) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT	1) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT
2) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT	2) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT
3) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT	3) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT
4) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT	4) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT
5) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT	5) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT
6) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT	6) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT
7) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT	7) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT
8) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT	8) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT
9) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT	9) 1/2" CLEAR GLASS, 1/2" ALUMINUM FRAME, 1/2" GLASS TO GLASS JOINT



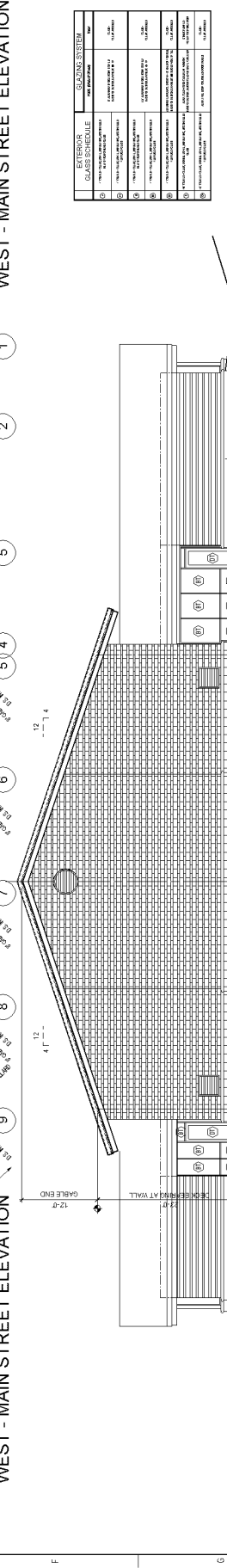
WEST - MAIN STREET ELEVATION



NORTH - 300 SOUTH STREET ELEVATION



WEST - MAIN STREET ELEVATION



SOUTH APPARATUS BAY ELEVATION

PROJECT DATA CHART

CITY OF CENTERVILLE ZONING	CM - COMMERCIAL MEDIUM DENSITY
TOTAL GROSS PROPERTY AREA	42,240 S.F. 0.96 ACRES
NEW BUILDING AREA	11,613 SQ. FT.
TOTAL PROPOSED PARKING SPACES	18

LEGEND

---	PROPERTY BOUNDARY LINES
- - -	EXISTING SANITARY SEWER & MANHOLE
- - -	EXISTING STORM DRAIN & INLET
- - -	EXISTING OVERHEAD POWER LINE
- - -	EXISTING WATER LINE
- - -	EXISTING FENCE
- - -	EXISTING WATER VALVE & YARD HYDRANT
- - -	EXISTING POWER POLE
- - -	EXISTING IRRIGATION BOX
- - -	PROPOSED LANDSCAPE SWALE
- - -	PROPOSED CONCRETE SURFACE

SITE CONSTRUCTION NOTES SCHEDULE

- NEW DRIVEWAY DRIVEWAY CONCRETE PAVING, SEE DETAIL SECTION, SHEET C-4
- NEW DRIVEWAY DRIVEWAY CONCRETE PAVING, SEE DETAIL SECTION, SHEET C-4
- NEW ADA ACCESSIBLE WALK PER ADA STANDARDS - MAX. RUN SLOPE (5.0%) MAX. CROSS SLOPE (2.0%)
- NEW ADA ACCESSIBLE WALK PER ADA STANDARDS & SPECS.
- NEW ADA PARKING STALL MARKINGS AND STRIPING PER ADA STANDARDS & SPECS.
- NEW TYPE "T" CONCRETE CURB & GUTTER PER APWA PLAN NO. 205
- NEW TYPE "A" CONCRETE CURB & GUTTER PER APWA PLAN NO. 205
- CONNECT NEW CURB & GUTTER TO EXISTING CURB & GUTTER PER APWA PLAN NO. 205, MATCH EXISTING GRADE
- NEW CONCRETE SIDEWALK (PER APWA PLAN NO. 231)
- NEW TYPICAL PAVEMENT RAMP WITH DETECTABLE WARNING SURFACE 24" x 48" (TYP) YELLOW IN COLOR PER CENTERVILLE CITY STANDARDS
- NEW 4" THICK CONCRETE WALK/SLAB ON SITE (NOTH VARES-SEE PLAN)
- NEW CONCRETE DRIVEWAY APPROACH PER CENTERVILLE CITY STANDARDS
- LANDING AREA AT ALL EXTERIOR DOORS (MAX. 2% SLOPE ALL DIRECTIONS)
- CURB CUT FOR WATERWAY DRAINAGE (LOW AND BUILDING SHED) ACCESS
- NEW TRENCH DRAIN, SEE GRADING AND DRAINAGE PLAN, SHEET C-2
- NEW 3" MISC. CONCRETE WATERWAY AT BOTTOM OF DETENTION POND AS SHOWN SEE DETAIL SHEET C-4
- NEW WATER METER/VAULT, SEE UTILITY PLAN, SHEET C-3
- APPROXIMATE AREA TO BE SAWCUT, REMOVE, AND REPLACE ROAD SURFACE FOR NEW UTILITY CONNECTIONS PER APWA PLAN NO. 255 (DEEP EXCAVATION)
- NEW GENERATOR & COND. PAD WITH SURROUND WALL (APPROXIMATE LOCATION)
- NEW TRANSFORMER AND CONCRETE PAD (APPROXIMATE LOCATION)
- NEW 6" HIGH PRECAST CONCRETE FENCE
- NEW HISTORIC MONUMENT SIGN (APPROXIMATE LOCATION)
- NEW FLAG POLE (APPROXIMATE LOCATION)
- NEW GREASE TRAP AND CLEANOUTS, SEE UTILITY PLAN, SHEET C-3
- NEW 4" PAINTED PARKING LINES-TYP. (WHITE)
- NEW 4" PAINTED PARKING LINES-TYP. (WHITE)
- NEW STORM DRAIN OUTLET STRUCTURE, SEE DETAILS, SHEET C-4
- NEW STORM DRAIN INLET BOX
- REMOVE EXISTING CURB INLET, DRIVE, CURB & GUTTER AS NECESSARY AND INSTALL NEW TYPE II SINGLE INLET BOX PER CENTERVILLE CITY STANDARDS
- NEW STORM DRAIN MANHOLE
- EXISTING FIBER OPTIC COMM. BOX - RELOCATE OUT OF NEW DRIVE
- EXISTING CONCRETE WALK TO BE REMOVED FROM EXIST. DRIVEWAY WEST TO PROPERTY LINE AND REPLACED AT NEW GRADES, SEE GRADING PLAN, SHEET C-2
- EXISTING CONCRETE WALK TO BE REMOVED ALONG MAIN STREET AS SHOWN
- EXISTING POWERPOLE TO BE RELOCATED TO SOUTH PROPERTY LINE (BY OTHERS)
- EXIST. POWERPOLE & CUT WIRE - REMOVE OR RELOCATE AS NEEDED (BY OTHERS)
- EXISTING YARD HYDRANT - LEAVE IN PLACE
- NEW LIGHT POLES, SEE LIGHTING PLAN

GENERAL NOTES:

- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO REPAIR AND/OR ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
- ALL FACILITIES TO CONFORM TO OGDEN CITY DESIGN AND CONSTRUCTION STANDARDS.
- RELOCATE ALL DISTURBED AREAS WITH RELOC. MAP SEE THIS SHEET.
- ANY DEFECTIVE CURB AND GUTTER MUST BE REMOVED AND REPLACED ALONG THE FRONTAGE OF THE PROJECT.

GOULD+ ARCHITECTS

Engineering Associates, L.P.
5054 South Green Street
Murray, Utah 84123 801-743-3000



NO. DESCRIPTION



PROJECT NUMBER 18021

NEW CENTERVILLE
STATION #83

SOUTH DAVIS METRO FIRE

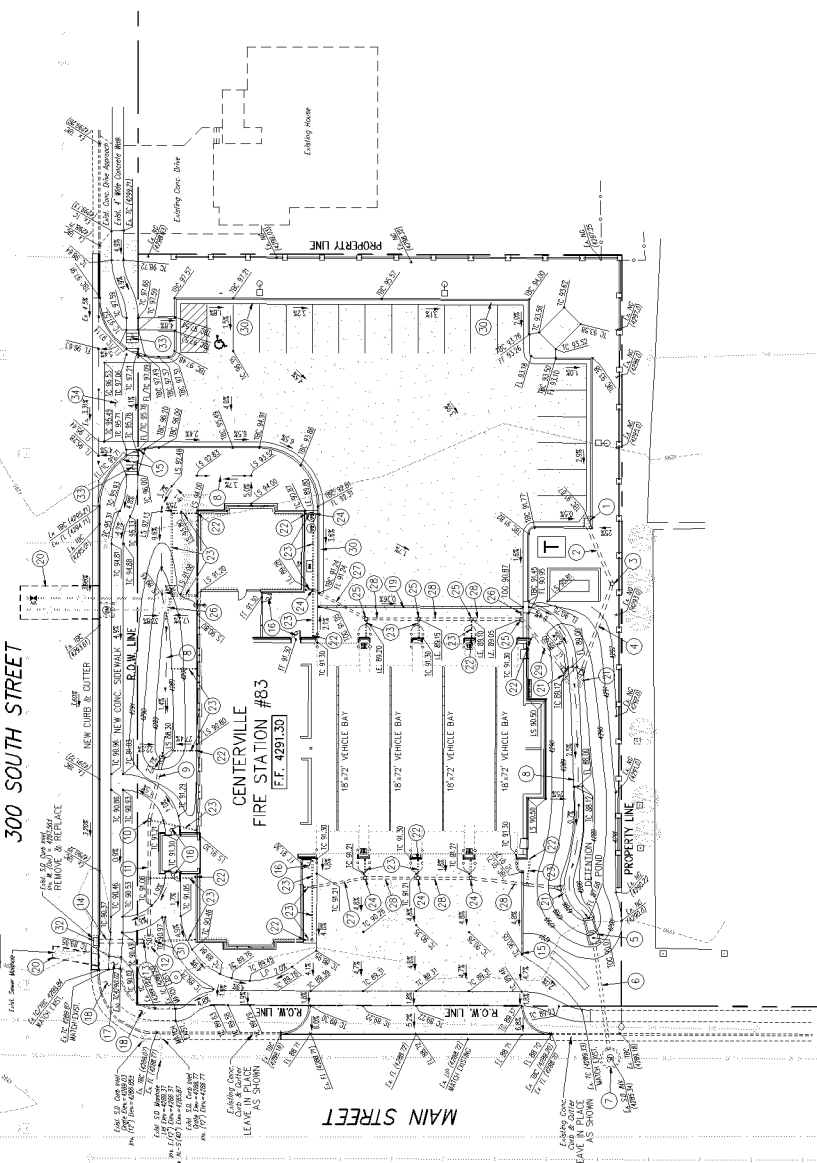
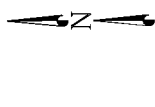
340 S. MAIN STREET CENTERVILLE UT

SITE
IMPROVEMENT
PLAN

BID PACKAGE #1
SEPTEMBER 4, 2018

C-1





LEGEND	
	PROPERTY BOUNDARY LINES
	EXISTING SANITARY SEWER & MANHOLE
	EXISTING STORM DRAIN & INLET
	EXISTING OVERHEAD POWER LINE
	EXISTING WATER LINE
	EXISTING FENCE
	EXISTING WATER VALVE & YARD HYDRANT
	EXISTING POWER POLE & IRRIGATION BOX
	PROPOSED LANDSCAPE SWALE
	PROPOSED CONCRETE SURFACE
	PROPOSED SPALL CURB

DEPARTMENT OF LAND AND NATURAL RESOURCES[illegible]



UTILITY PLAN NOTES SCHEDULE

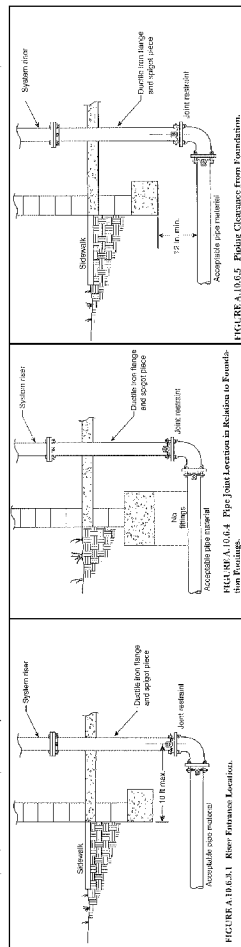
1. INSTALL 12" L.F. OF 4" PVC SDR-35 SEWER LATERAL AT MIN. 2.0% SLOPE (BUILDING TO GREASE TRAP)
2. INSTALL 1000 GALL. STANDARD GREASE AND OIL INTERCEPTOR PER SOUTH DAVIS SEWER DISTRICT STANDARDS AND SPECIFICATIONS PER RIM (EAST) EL=4290.962, RM (WEST) EL=4290.564 AND RIM (EAST) EL=4290.962, RM (WEST) EL=4290.564 I.E. (RM)=4290.462, A.V. EL(OUT)=4286.082
- NOTE: DESIGN ELEVATIONS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED PER THE EXISTING 8" SEWER MAIN INVERT ELEVATION AT THE INTERSECTION OF THE EXISTING 8" SEWER MAIN AND THE NEW 12" L.F. OF 4" PVC SDR-35 SEWER LATERAL AT MIN. 2.0% SLOPE (BUILDING TO GREASE TRAP TO SAMPLING MANHOLE)
3. INSTALL 30' L.F. OF 4" PVC SDR-35 SEWER LATERAL AT MIN. 2.0% SLOPE (GREASE TRAP TO SAMPLING MANHOLE)
4. INSTALL DOUBLE-SWEEP CLEANOUT PER SOUTH DAVIS SEWER DISTRICT STANDARDS AND SPECIFICATIONS
5. INSTALL 50' L.F. OF 4" PVC SDR-35 SEWER LATERAL AT MIN. 2.0% SLOPE (BUILDING TO GREASE TRAP TO SAMPLING MANHOLE)
6. INSTALL SEWER CLEANOUT PER SOUTH DAVIS SEWER DISTRICT STANDARDS AND SPECIFICATIONS AT LOCATIONS SHOWN ON PLAN
7. INSTALL 20' L.F. OF 4" PVC SDR-35 SEWER LATERAL AT MIN. 2.0% SLOPE (BUILDING TO WYE CONNECTION)
8. INSTALL 1.34' L.F. OF 4" PVC SDR-35 SEWER LATERAL AT MIN. 2.0% SLOPE (BUILDING TO WYE CONNECTION)
9. INSTALL 27' L.F. OF 4" PVC SDR-35 SEWER LATERAL AT MIN. 2.0% SLOPE (BUILDING TO WYE CONNECTION)
10. INSTALL 1.34' L.F. OF 4" PVC SDR-35 SEWER LATERAL AT MIN. 2.0% SLOPE (CLEANOUT TO EXISTING SEWER MANHOLE)
11. CONNECT NEW 4" SEWER LATERAL TO EXIST. SEWER MANHOLE PER SOUTH DAVIS SEWER DISTRICT STANDARDS & SPECS. EXIST. EL=4286.42 NEW LATERAL INV. EL=4280.54
12. INSTALL 30' L.F. OF 2" POLYETHYLENE WATER LATERAL PER CENTREVILLE CITY STANDARDS & SPECIFICATIONS (BUILDING TO WATER METER)
13. INSTALL NEW 2" POLYETHYLENE WATER LATERAL PER CENTREVILLE CITY STANDARDS & SPECIFICATIONS
14. INSTALL 25' L.F. OF 2" POLYETHYLENE WATER LATERAL PER CENTREVILLE CITY STANDARDS & SPECIFICATIONS (NEW WATER METER TO EXIST. 3" MAIN)
15. MAKE MET TAP CONNECTION PER CENTREVILLE CITY STANDARDS & SPECS. AND APWA STANDARD PLAN 552
16. INSTALL 50' L.F. OF 8" PVC C-900 WATER MAIN LOCATION IN 300 SOUTH STREET PRIOR TO WATER CONNECTION INSTALLATION
17. INSTALL 50' L.F. OF 8" PVC C-900 WATER LINE (HRE) PER CENTREVILLE CITY STANDARDS & SPECIFICATIONS
18. INSTALL 6" GATE VALVE PER CENTREVILLE CITY STANDARDS & SPECIFICATIONS
19. CONNECT NEW 8" PVC C-900 WATERLINE TO EXISTING WATER MAIN PER CENTREVILLE CITY STANDARDS & SPECIFICATIONS
20. INSTALL FIRE SERVICE LINE UNDER BUILDING FOUNDATION PER DETAILS THIS SHEET
21. EXISTING FIBER OPTIC BOX TO BE RELOCATED OUT OF ACCESS DRIVE LOCATION (BY OTHERS)
22. EXIST. IRRIGATION BOX TO BE REMOVED OR RELOCATED PER NEW CONSTRUCTION
23. EXISTING POWER POLE AND OLV WIRE TO BE REMOVED OR RELOCATED (BY OTHERS)
24. EXISTING POWER POLE TO BE REMOVED AND RELOCATED TO SOUTH PROPERTY LINE (BY OTHERS)
25. NEW LOCATION OF RELOCATED OR NEW POWER POLE (BY OTHERS)

UTILITY PLAN NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ABOVE GROUND SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND LOCATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN UNEXPECTED UTILITIES ARE IDENTIFIED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ABOVE GROUND SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND LOCATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN UNEXPECTED UTILITIES ARE IDENTIFIED.
2. CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3. ALL NEW CONSTRUCTION TO BE DONE IN ACCORDANCE WITH STANDARD PRACTICES AND SPECIFICATIONS AND CENTREVILLE CITY STANDARD PRACTICES AND SPECIFICATIONS (APWA) 2017 EDITION.
4. PRIOR TO BEGINNING ANY WORK IN THE PUBLIC WAY, A LICENSED, BONDED AND INSURED CONTRACTOR MUST FIRST OBTAIN A PUBLIC WAY PERMIT FROM CENTREVILLE CITY ENGINEERING DEPARTMENT.
5. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO REMOVE AND REPAIR ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
7. ALL EXISTING UTILITIES TO BE RELOCATED TO CENTREVILLE CITY DESIGN AND CONSTRUCTION STANDARDS.
8. ANY DEFECTIVE CURB AND GUTTER MUST BE REMOVED AND REPLACED ALONG THE FRONTAGE OF THE PROJECT.

LEGEND

- PROPERTY BOUNDARY LINES
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING STORM DRAIN & INLET
- EXISTING BARED POWER LINE
- EXISTING WATER LINE
- EXISTING WIRE FENCE
- EXISTING WATER VALVE & HYDRANT
- EXISTING LANDSCAPE SHALE



FIRE SERVICE LATERALS AT FOUNDATION

1. SEE THE NOTES FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPROPRIATE 2017 ADDENDUM FOR ADDITIONAL INFORMATION.

2. SEE THE SPECIFICATIONS FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPROPRIATE 2017 ADDENDUM FOR ADDITIONAL INFORMATION.

3. SEE THE SPECIFICATIONS FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPROPRIATE 2017 ADDENDUM FOR ADDITIONAL INFORMATION.

GOULD+ ARCHITECTS

Engineering Associates, LLC
1000 South Green Street
Murray, Utah 84203
801-731-3000



PROJECT NUMBER: 18021

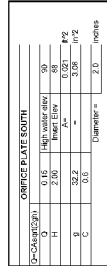
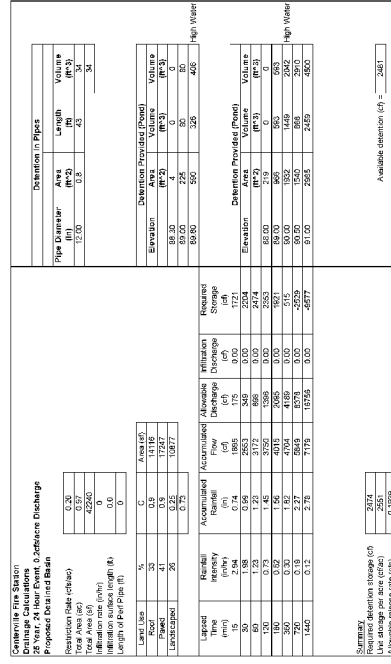
NEW CENTREVILLE
STATION #83
SOUTH DAVIS METRO FIRE

340 S. MAIN STREET CENTREVILLE UT

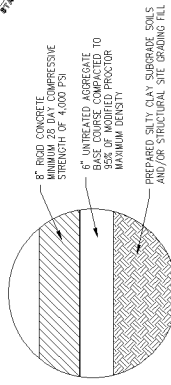
UTILITY
PLAN

BID PACKAGE #1
SEPTEMBER 4, 2018

C-3



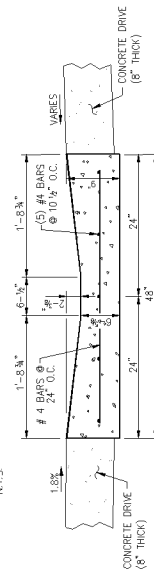
STORM DRAIN CALCULATIONS



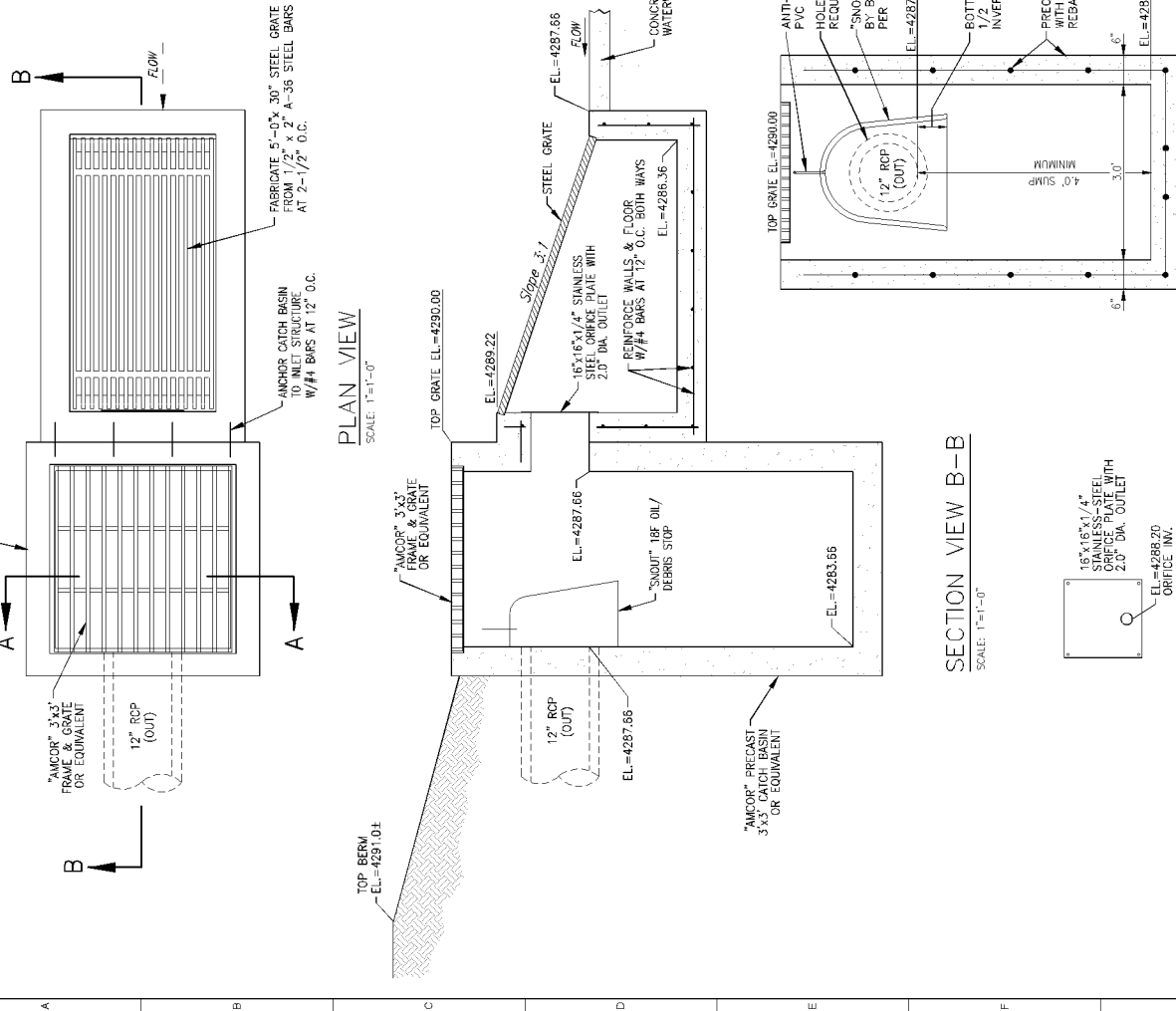
NOTE:
PAVEMENT SECTION CALCULATIONS PER CORDON
GEOTECHNICAL ENGINEERING INC. DATED JULY 25, 2018.

CONCRETE RIGID PAVEMENT SECTION

NTS



48" CONCRETE WATERWAY

$$\overline{1^s - 1^t - 0^s}$$


ORIFICE PLATE DETAIL

	C
	H
	S

SECTION VIEW A-A

$x < 0$	5
$x = 0$	10
$x > 0$	5

SILT FENCE

DEFINITION:

A TEMPORARY SEDIMENT BARRIER CONSISTING OF FILTER FABRIC STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS AND ENTRENCHED.

PURPOSE:

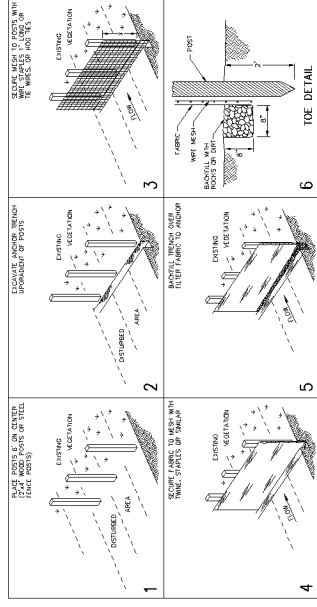
TO FILTER STORM WATER RUNOFF FROM UPGRADE DISTURBED AREA AND TRAP SEDIMENT ON SITE.

MAINTENANCE:

- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING FENCE.
- REPAIR OR REPLACE DAMAGED AREAS OF THE FENCE AND REMOVE ACCUMULATED SEDIMENT.
- REANCHOR FORCE AS NECESSARY TO PREVENT SHORTCUTTING.

INSTALLATION:

- REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.
- PLACE POSTS 6 FEET ON CENTER ALONG CONTOUR (OR USE PREASSEMBLED UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADE OF POSTS.
- SECURE WIRE MESH (1.4 GAUGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY WIRE STAPLES 1 INCH LONG, TIE WIRES OR HOG RINGS.
- CUT FABRIC TO REQUIRED WIDTH, UNROLL ALONG LENGTH OF BARRIER AND DRAFT OVER BARRIER. SECURE FABRIC TO MESH WITH WIRE, STAPLES, OR SIMILAR WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
- BACKFILL TRENCH OVER FILTER FABRIC TO ANCHOR.



GENERAL NOTES

1. CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO PREVENT EROSION OF SEDIMENT FROM THE CONSTRUCTION AREA. THE POLLUTANTS FROM THE CONSTRUCTION AREA SHALL BE PREVENTED FROM LEAVING THE CONSTRUCTION AREA.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FILE A NOTICE OF INTENT (NOI) WITH THE STATE OF UTAH PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL ALSO FILE A NOTICE OF TERMINATION (NOT) UPON COMPLETION OF FINAL STABILIZATION.

GENERAL NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO REFERENCE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.



GOULD+
ARCHITECTS

425 N. 1000 E. SUITE 200
SALT LAKE CITY, UT 84143
TEL: 313.200.0000
WWW.GOULDPHYSICALS.COM

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Engineering Associates, LLC
505 S. South Green Street
Murray, Utah 84123 801-713-3000



NO. DESCRIPTION



PROJECT NUMBER: 18021

NEW CENTERVILLE
STATION #83
SOUTH DAVIS METRO FIRE

340 S. MAIN STREET CENTERVILLE UT

EROSION
CONTROL
PLAN

BID PACKAGE #1
SEPTEMBER 4, 2018

C-5

PLANTING NOTES:

1. LANDSCAPE CONTRACTOR (L.C.) SHALL INSTALL 6" OF TOPSOIL IN ALL PLANTER AREAS.
2. L.C. SHALL HAVE ALL UTILITIES STAKED BEFORE DIGGING. ANY DAMAGE SHALL BE REPAIRED BY L.C. AT HIS OWN EXPENSE WITH NO COST TO THE OWNER.
3. L.C. SHALL MAKE CERTAIN THAT ALL PLANTS ARE PROPERLY WATERED WITH AUTOMATIC IRRIGATION.
4. L.C. SHALL COORDINATE HIS WORK WITH THE PROJECT MANAGER AND WITH ALL OTHER CONTRACTORS WORKING ON THE SITE.
5. THE FINISH GRADE OF ALL PLANTING AREAS SHALL BE SMOOTH, EVEN, CONSISTENT, FREE OF ANY HUMPS, DEPRESSIONS OR ANY OTHER GRADING IRREGULARITIES. THE FINISHED LANDSCAPE (i.e., ROCK MULCH, etc.) SHALL BE CONSTANTLY $\frac{1}{2}$ " BELOW ANY SURROUNDING CURB, WALKS, ETC..
6. L.C. SHALL KEEP THE STORAGE AREA, PAVEMENT AND PREMISES CLEAN AND NEAT AT ALL TIMES.
7. THE LANDSCAPE ARCHITECT OR OWNER SHALL INSPECT ALL PLANT MATERIALS ON SITE BEFORE INSTALLATION TO INSURE COMPLIANCE WITH SIZES AND TYPES. L.C. SHALL CALL FOR INSPECTION ONE WEEK PRIOR TO PLANTING. WATERING, PROTECTION AND CARING FOR PLANTS DURING THAT PERIOD SHALL BE THE RESPONSIBILITY OF THE L.C..
8. L.C. SHALL MAINTAIN ALL PLANTS, ETC., FOR 30 DAYS FOLLOWING SUBSTANTIAL COMPLETION INCLUDING WEEDING, PRUNING, TRASH CLEAN-UP, ETC.
9. L.C. SHALL FURNISH ONE YEAR WRITTEN GUARANTEE FOR ALL PLANTS AND THE IRRIGATION SYSTEM.
10. ANY PLANT WITHIN 1 YR PERIOD DEEMED UNHEALTHY OR UNSUITABLE BY THE LAND ARCH SHALL BE REPLACED WITHIN 10 WORKING DAYS AS PART OF WARRANTY.
11. ALL PLANTER AREAS SHALL RECEIVE DEWITT WEED BARRIER FABRIC
12. ALL SHRUBS/GRASSES SHALL BE PLANTED 12" MIN FROM TREE ROOT BALLS

KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES:				
A	ACER PALMATUM BLOODGOOD	JAPANESE MAPLE	8-10'	
C	ACER AMPRESTRE	HEDGE MAPLE	2" CAL	B&B
O	PYRUS C. CAPITOL	CAPITOL COLUMNAR PEAR	2.5" CAL.	B&B
P	PICEA A. CUPRESSINA	COLUMNAR SRUCE	8-10'	B&B
SHRUBS AND GROUDCOVERS:				
?	PINUS MUGO PUMILO	PUMILO DWARF MUGO PINE	5 Gallon	Cont.
O	SPIREA GOLDMOUND	GOLDMOUND SPIREA	5 Gallon	Cont.
①	PRUNUS CISTENA	CISTENA PLUM	5 Gallon	Cont.
②	HELIOTRICON SEMPERVIRENS	BLUE OAT GRASS	5 Gallon	Cont.
*	YUCCA FILAMENTOSA	GOLDEN YUCCA	5 Gallon	Cont.
○	MAHONIA COMPACTA	COMPACT OREGON GRAPE	5 Gallon	Cont.
⊕	WEIGELA FLORIDA DARK HORSE	DARK HORSE WEIGELA	5 Gallon	Cont.
○	HEMEROCALLIS	STELLA D'OR DAYLILY	5 Gallon	Cont.
SOD				
18C	POA PRATENSIS MIX	KENTUCKY BLUEGRASS MIX		
6C	CONCRETE MOW STRIP	18" X 6" WITH 2 #4 BARS		
RM	CONCRETE MOW STRIP	6" X 6" EXTRUDED		
	NEPHI TAN ROCK MULCH (FROM STAKER)	3/4-2.5" AT 4-5" DEPTH OVER DEWITT PRO 5		

1. CENTERVILLE ORDINANCE 12.51.070
LANDSCAPING REQUIREMENTS

GENERAL

- 1.1.1.1 perimeter and internal landscaping required 75%, provided 92%
1.1.1.2 buffer landscaping required 50%, provided 100%

1.3.

deciduous trees preferred, 91% deciduous provided

1.6.

trees place 7' from walks as required

2.2.1

trees provided at property line as visual, noise buffer
trees required at 20' o.c. minimum, provided at 12' o.c.

1.2.3

one tree required for every 500 sf of buffer landscaping
provided 1 tree for every 400 sf of buffer area

1.3

50% of building frontage with 3' foundation landscape
provided 100%

1.6.2

One tree required for every 25' of frontage
Main Street trees cannot be provided as the fire trucks
sit high and cannot see through the foliage to exit quickly into the street
300 West trees 250' frontage requires 10 trees, 10 provided

12.51.110 Screening

3. service areas are screened
utility boxes are screened

GOULD+
ARCHITECTS

427 NW 10TH ST., SUITE 201
DAVENPORT, FL 33440
941.233.0000

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NO. DESCRIPTION



PROJECT NUMBER 19001

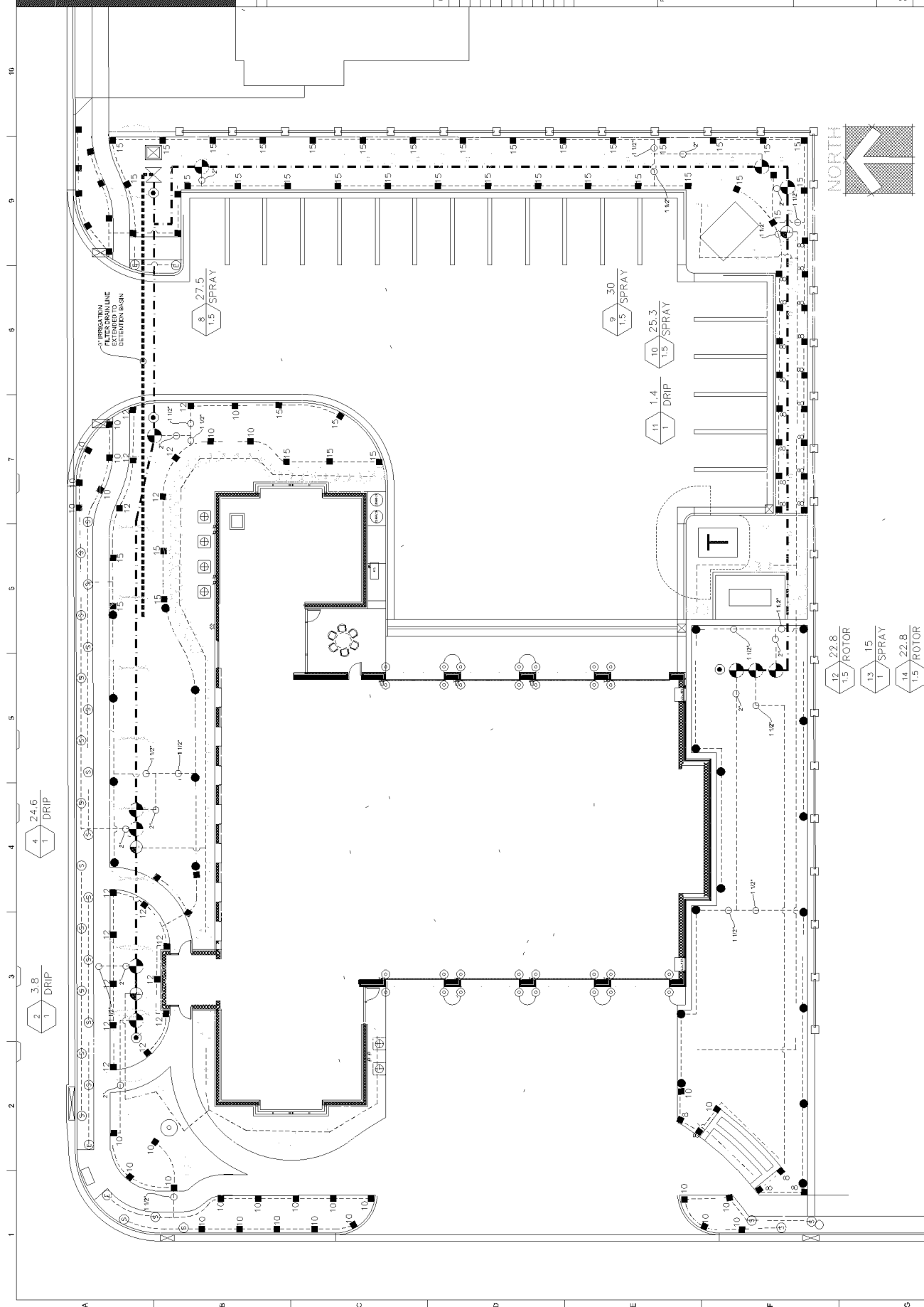
NEW CENTERVILLE
STATION #83
SOUTH DAVENPORT FIRE

30 S. MAIN STREET, CENTERVILLE, FL

PLANTING
NOTES

BID PACKAGE #1
SEPTEMBER 4, 2018

L-3



LEGEND / SCHEDULE

A		RAINBIRD .5" AIR VACUUM RELIEF VALVE MODEL ARV050 IN BOX WITH 6" GRAVEL RAINBIRD 1804 WITH "U" SERIES NOZZLE WHEN 5-15 FT RADIUS & MPR NOZZLE UNDER 8 FT REPLACE NOZZLES AS NECESSARY TO ASSURE PROPER COVERAGE
		RAINBIRD 3500 SERIES ROTORS NOZZLE AS NECESSARY TO ASSURE PROPER COVERAGE. QUARTER NOZZLE 2.0, HALF NOZZLE 3.0, AND FULL NOZZLE 4.0
		RAINBIRD 1804-SST NOZZLE REPLACE NOZZLES AS NECESSARY TO ASSURE PROPER COVERAGE
B		RAINBIRD 1804-EST NOZZLE REPLACE NOZZLES AS NECESSARY TO ASSURE PROPER COVERAGE
		RAINBIRD PESB-PRS VALVE SEE PLAN FOR SIZE AND ESTIMATED GPM
		RAINBIRD XZC-100-PRB-COM DRIP VALVE ASSEMBLY
		RAINBIRD QUICK COUPLER VALVE 44-LRC (PROVIDE OWNER- KEY HAVING SWIVEL HOSE CONNECT. 2" MAINLINE SCHEDULE 40, ALL FITTING SHALL BE SCH. 80
		LATERAL PVC. SCH. 40 SIZE IS 1" UNLESS NOTED OTHERWISE
C		RAINBIRD ESP-LXE-8 CONTROLLER WITH LMRKIT RECEIVER/TRANSMITTER REMOTE CONTROL LOCATE PER OWNER'S DIRECTIONS (PROVIDE TWO- ONE EA. BLDG.) INSTALL EXPANSION MODULE TO ACCOMMODATE CONTROLLER WITH 9 STATIONS
		2" IRRIGATION FILTER- AMIAD TAF SERIES AUTOMATIC FILTER IN ALUMINUM STRONG BOX ENCLOSURE 60(60 X39 X 24 INCHES) - PLACED AS PER OWNER'S DIRECTION, PROVIDE PIPING AND CONNECTIONS AS NECESSARY WITH A NETAFIM LHM2 TG1-MEL. HYDROMETER INSTALLED PER DETAIL, SPECIFICATIONS, AND MANUFACTURES RECOMMENDATIONS.
D		STOP AND WASTE INSTALLED BY OTHERS



SPRINKLER SYSTEM NOTES

- LANDSCAPE CONTRACTOR (L.C.) SHALL PROVIDE SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT. SLEEVES SHALL BE 2 PIPE SIZES LARGER THAN THE PIPE INSIDE. ALL WIRE UNDER PAVEMENT SHALL BE IN SLEEVES.
- MAIN LINES SHALL BE 18" DEEP MIN. AND LATERALS SHALL BE 12" DEEP MIN.
- PROVIDE A REPRODUCIBLE IRRIGATION PLAN TO ARCHITECT AND OWNER SHOWING ALL PIPE, HEADS, VALVES, DRAINS CLOCKS, ETC. AFTER CONSTRUCTION. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION.
- THIS PLAN IS DIAGRAMATIC, PLACE PIPES, VALVE BOXES, AND ALL OTHER SPRINKLER CONSTRUCTION IN THE LANDSCAPE AREAS WHENEVER POSSIBLE.
- L.C. SHALL HAVE ALL UTILITIES STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE COST OF THE L.C. WITH NO EXTRA COST TO THE OWNER.
- ALL WIRE SHALL BE BUNDLED AT 10' ON CENTER.
- ARCHITECT SHALL INSPECT ALL WIRE GRAVEL SUMPS, AND PIPE BEFORE BURIAL.
- NOTIFY ARCHITECT AT LEAST 48 BUSINESS HOURS BEFORE BURIAL.
- ALL WIRE BETWEEN CONTROLLER AND SLEEVE SHALL BE ENCLOSED IN RIGID PIPE.
- INSTALL ALL BOXES 6" MIN. AWAY AND SQUARED WITH THE WALK OR BUILDING.
- POWER TO THE CONTROLLER SHALL BE BY OTHERS FROM THE CONTROLLER TO ALL VALVES SHALL BE INSTALLED BY THE L.C.
- SPRINKLER LINES FOR THE BUILDING PERIMETER ARE TO BE LOCATED 12" FROM THE FOUNDATION WALL UNLESS INDICATED.
- L.C. SHALL GRADE PIPING TO FACILITATE COMPLETE DRAINAGE OF PIPES THROUGH THE USE OF AUTOMATIC DRAINS.
- IF WATER PRESSURE IS BELOW 50 P.S.I. THE L.C. SHALL NOTIFY THE LANDSCAPE ARCHITECT BEFORE ANY INSTALLATION BEGINS.
- SPRAY HEADS ARE DESIGNED IN EXCESS OF 60% DU AND SHALL BE INSTALLED WITH WHATEVER ADJUSTMENTS OR ADDITIONS ARE NECESSARY TO MAINTAIN DU IN EXCESS OF 60%.
- L.C. SHALL PROVIDE AND INSTALL A RAINBIRD MODEL RSD RAIN SENSOR AND SET THE CALIBRATION TO 0.5".
- ALL CONTROL WIRES SHALL BE 14 GA. UL-RATED WITH COMMON- WHITE, VALVE CONTROL- RED, AND EXTRA WIRES -BLUE ALL RUNNING WITH MAIN LINE WHEREVER POSSIBLE. KEEP WIRES 12" AWAY FROM MAIN LINE IN TRENCH AND COVER WITH CAUTION TAPE 6" ABOVE WIRES. PROVIDE AN EXTRA VALVE WIRE (BLUE) AT EACH VALVE MANIFOLD OR CLUSTER. EXTRA WIRES SHALL BE 'HOME RUN'. WIRE SHALL HAVE 36" EXTRA COILED AT CHANGES IN DIRECTION AND AT EACH VALVE LOCATION. WIRE CONNECTIONS SHALL BE WATER TIGHT IN VALVE BOXES AS PER DETAIL SHEET.
- ALL PVC PIPE SHALL BE SHC 40 (UNLESS SHOWN OTHERWISE IN DETAILS) ASTM D1784 OR 1785. ALL POLYETHYLENE PIPE SHALL BE ASTM D2239.
- ALL TRENCHES SHALL HAVE 6" CLEAN MATERIAL PLACED IMMEDIATELY ABOVE PIPES, SLEEVES, CONDUITS, WIRES, ETC. TRENCH BACKFILL SHALL BE SUFFICIENTLY SETTLED, AND /OR COMPACTED TO PREVENT FUTURE SETTLING OF BACKFILL.
- SET CONTROLLER TO RUN DRIP SYSTEM FOR 60 MINUTES. TUESDAY & SATURDAY. AFTER ONE WEEK OF WATERING CHECK SOIL ON MONDAY OR FRIDAY. CHECK SOIL FOR EITHER TOO WET OR TOO DRY AND ADJUST CONTROLLER OR EMITTERS AS NEEDED TO ASSURE IDEAL WATERING AND PLANT SURVIVAL. WRITE WATERING TIME/SCHEDULE IN CONTROLLER. INSTALL A REDUCED COLORED CODED LAMINATED IRRIGATION ZONE MAP IN THE DOOR OF THE COMPUTER.
- PLACE TWO ZOPH EMITTERS ON EACH SHRUB AND TWELVE ON EACH TREE. TREE EMITTERS SHALL HAVE 4 IMMEDIATELY ON THE ROOT BALL, 4 AT THE EDGE OF THE ROOT BALL, AND 4 PLACED 12" BEYOND THE ROOT BALL FOR FUTURE GROWTH. EVENLY SPACE EMITTERS. ALL EMITTERS SHALL BE PRESSURE COMPENSATING.

GOULD+
ARCHITECTS

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NO.	DESCRIPTION



PROJECT NUMBER
116621

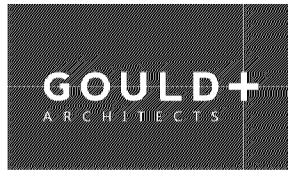
NEW CENTERVILLE
STATION #63
SOUTH DAVENPORT FIRE

30 S. MAIN STREET, CENTERVILLE, UT

IRRIGATION
NOTES

BID PACKAGE #1
SEPTEMBER 4, 2018

L-6



September 6, 2018

Cory Snyder

Centerville City Planner

Re: NEW CENTERVILLE FIRE STATION #83 PARKING REQUIREMENTS

Cory,

We would like to request a modification to the parking requirements for our new fire station. In lieu of the 1 stall per 200 sf government services parking ratio, we believe that Centerville's parking requirements for operations centers more closely match the parking needs of the station.

Per the International Building Code IBC 2015 our station will be divided into 3 parts:

Residential Group R-3 Occupancy	Dorms for 16 or fewer occupants. We have dorms for 6 fire fighters with associated kitchen and living spaces.
Training Room Accessory to R-3	Training / classroom We have a 737 sf classroom that will seat about 24 people.
Enclosed Garage S-2 Occupancy	4 bays for parking fire trucks / apparatus

This is a living facility for fire fighters. They respond outside the station to emergency calls.

Under the **PUBLIC AND CIVIC USES** of 12.52.300 we believe the station parking needs are similar to the following use categories:

OPERATIONS CENTER	The requirement is 4 spaces, plus 1 space per employee on highest shift. We have 6 fire fighters live at this station. 6 employees + 4 extra spaces = 10 spaces required.
AUDITORIUM without fixed seating	The requirement is 1 space per every 100 SF. We have a 737 sf classroom x 1/100 sf = 8 required spaces.
TOTAL PARKING SPACES REQUIRED	18 SPACES
TOTAL PARKING SPACES PROVIDED	18 SPACES

FIRE APPARATUS BAYS ARE PARKING SPACES

The fire apparatus bays are parking spaces for fire trucks. They need indoor parking to keep water tanks, etc. from freezing. We don't believe there are additional requirements that compound parking requirements on top of these parking spaces.

HISTORIC DATA

The 18 provided parking spaces is consistent with all the similar sized (approx. 13,000 sf) fire stations that we have designed in the last 10 years. They all house the same number of fire fighters and have similar training rooms and apparatus bays:

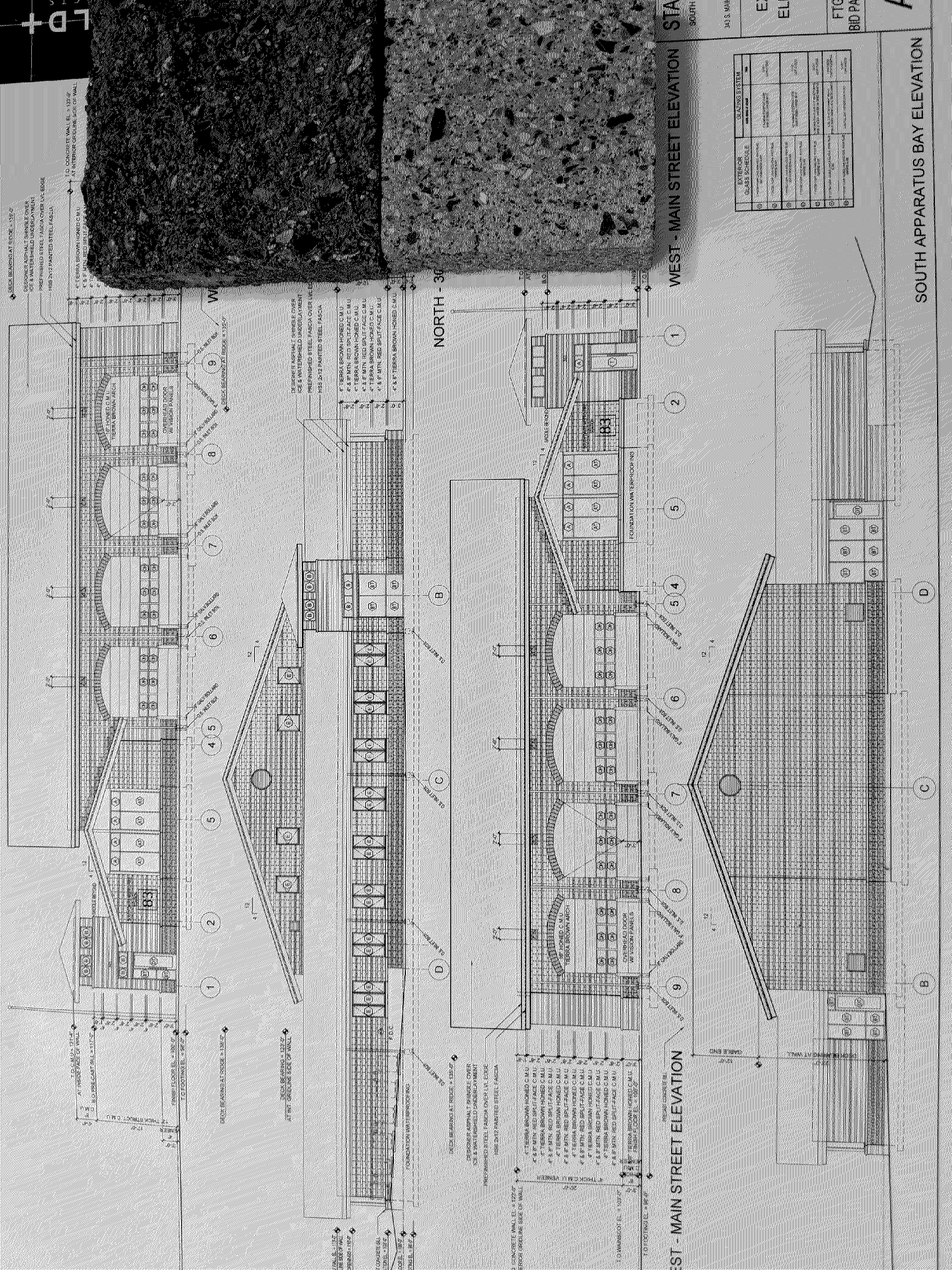
SDMF Eaglewood Station #82	701E Eaglewood Dr. NSL, UT	15 total parking spaces
SDMF Foxboro Station #85	836 W 100 N. NSL, UT	24 total parking spaces w/ large 2.17 acre training site
UFA East Millcreek Station #106	1911 E. 3300 S Millcreek, UT	13 total parking spaces
UFA Millcreek Station #101	790 E 3900 S Millcreek, UT	21 total parking spaces
UFA Magna Station #111	8215 W. 3500 S Magna, UT	14 total parking spaces
UFA Big Cottonwood Station #108	7688 S BCC (State Road 190)	15 total parking spaces
UFA Riverton Station #124	12662 S 1300 W Riverton, UT	17 total parking spaces

The parking for all these stations has worked well and have been used as templates for planning the amount of site area and parking needed for subsequent stations.

We believe that we have adequate parking for this new Centerville Fire Station #83 and that we meet the intent of Centerville's parking requirements given the types of uses that we have planned for this station.

Thank you,

Bill Gould



WEST - MAIN STREET ELEVATION

WEST - MAIN STREET ELEVATION

SOUTH APPARATUS BAY ELEVATION

GLAZING SYSTEM	GLAZING SYSTEM
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